

ARCHITECTURAL STANDARDS POLICY FOR THE **FOREST BROOKE**
COMMUNITY OF THE STEDWICK HOMES CORPORATION

*Any exterior modification including those listed below requires prior approval by the
Montgomery Village Foundation Architectural Review Board.*

Purpose: To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **Forest Brooke** desiring to make exterior alterations or changes to their property. *All modifications must be completed within three months of board approval unless a specific exception is received.*

The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** – The original roof shingle is *Elk Prestique II “Weathered Wood”* color. Replacement shingles must be *ELK/GAF Timberline Natural Shadow “Weathered Wood”*, or an approved equivalent.
2. **Exterior Paint** – The original trim color is *McCormick White #500*. This color must be maintained unless the wood is covered with a replacement material. Exterior color change requests for house siding, trim, front door, storm door, garage door or garage trim are reviewed by the ARB on an individual basis and must be compatible with the style and design of each specific community. No approval is required if the exterior paint colors are not changed from these recorded colors. Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. The Architectural Standards staff is available to assist homeowners in their color selection.
3. **Replacement Siding/Trim** – Certaineed “Silver Ash”
Any change in color, style or material requires prior approval.
 - Garage units – siding must be Triple 3” lap profile in a standard color.
 - Non-garage units – siding must be 5” Dutch lap profile in a standard color.
4. **Replacement Windows** – Must be white double-hung windows with grids to match existing grid pattern.
Storm Windows – Must be white in color.
5. **Box Bay Window (Non-garage units)** – When this window is replaced, the panel below the window must be covered with flat profile material.
6. **Storm/Screen Door** – The front entrance storm/screen will be reviewed on an individual

basis (see attached drawing for recommended styles). The color of the door must be front door or house trim color (white doors are acceptable).

Security Storm Door – Must be painted the front door color.

7. **Front Door Entrance Lights** – Garage Units - Photocell lights located in the atriums must be maintained and retained. Original light fixtures by garage doors are black aluminum cylinders. This style and color fixture must be maintained when a replacement is needed. (See attached information on all original light fixtures.)

- Non-garage Units – Black contemporary light fixtures

Security Lighting – Must conform to MVF approved guidelines. *Decorative light fixtures on front elevations must be retained (may include motion sensor lights).*

8. **Elevated Deck** – Must be built in accordance with standard option rear deck plan (see drawings). Certain conditions may allow variances in deck length. No variance in depth will be allowed.

Ground Level Deck – To be screened with shrubs to enclose that portion between deck and grade that is greater than 12” in height.

Ground Level Deck Color – Any tinted stain or colored preservatives to be reviewed on an individual basis.

9. **Fences** - Additional fencing may be installed along the sides and rear property and must match the existing developer installed fence. The fence style is to be solid wood board, 6 feet in height and natural wood color (see drawing) *Note: All non-garage units will have a standard fence color, Sherwin Williams #SW-3002 “Belvedere Tan” (the previous color McCormick Solid Stain #856 is no longer available).*

Gate – Same style as fence.

Privacy Fencing – Must be retained for screening purposes and to be solid wood board style (see drawing).

10. **Storage Sheds** – Custom-built storage sheds will be permitted when built within the enclosed yard in accordance with attached storage plans (see drawings). *Please note: sheds must be built with the 8’ by 6’ privacy fence extension.* Alternate styles and materials may be considered on an individual basis.

11. **House Numbers** – Only black or brass metal numbers no higher than 5” will be permitted. The original design and location must be retained unless otherwise approved.

House Number Note: Additional house numbers in the style of the original property address numbers may be installed directly above the garage door. The numbers must be mounted on a board painted the house trim color, *McCormick Paint #100 “Super White” (KT-3).*

12. **Driveways and Walkways** – The original garage driveways and entrance walkways are brushed concrete. The brushed concrete must be maintained and retained. No other types of materials are approved.

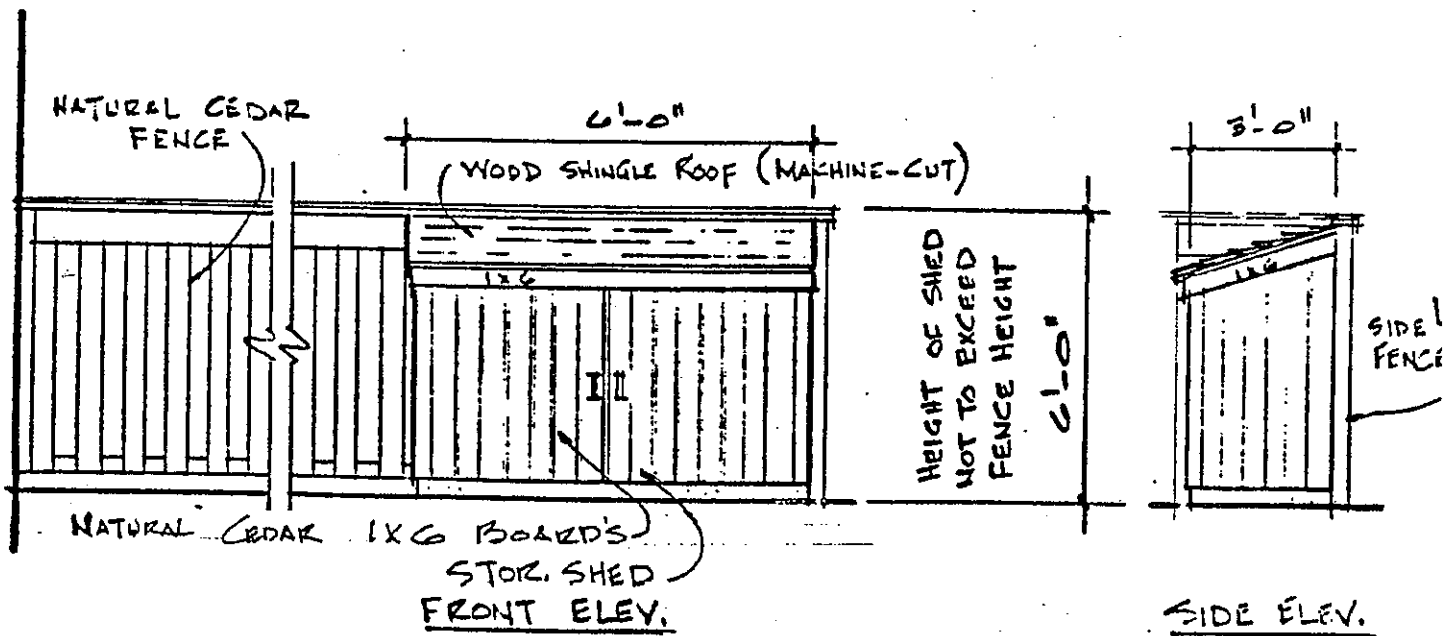
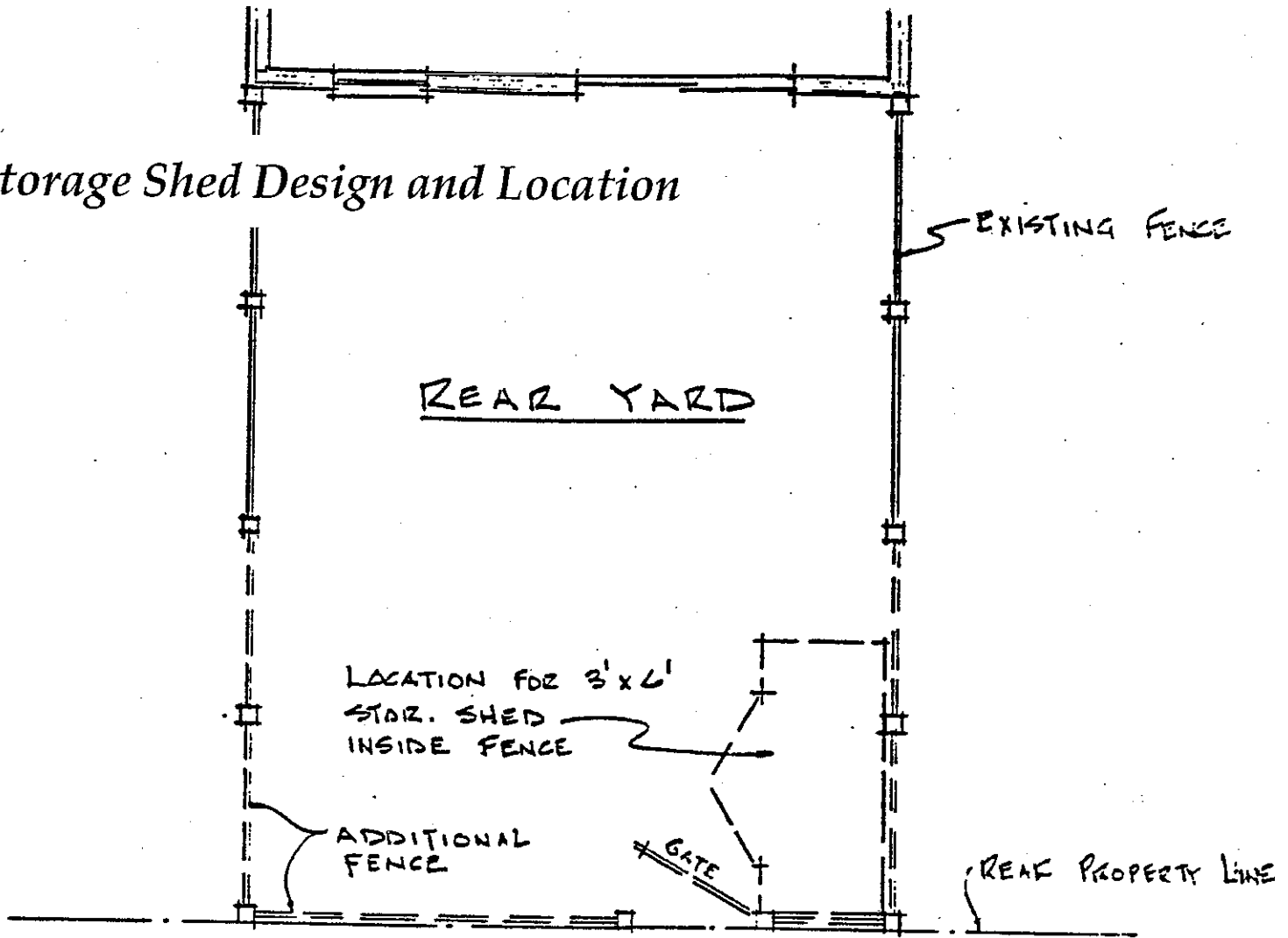
13. **Basketball Backboards** - Will not be permitted.

14. **Composting** - No residential composting of yard waste is permitted in the **Forest Brooke** community.
15. **Atrium Entrance Feature** – These entrance features are a shared responsibility among the 4 unit owners in the atrium. They must be retained and maintained by the 4 owners.

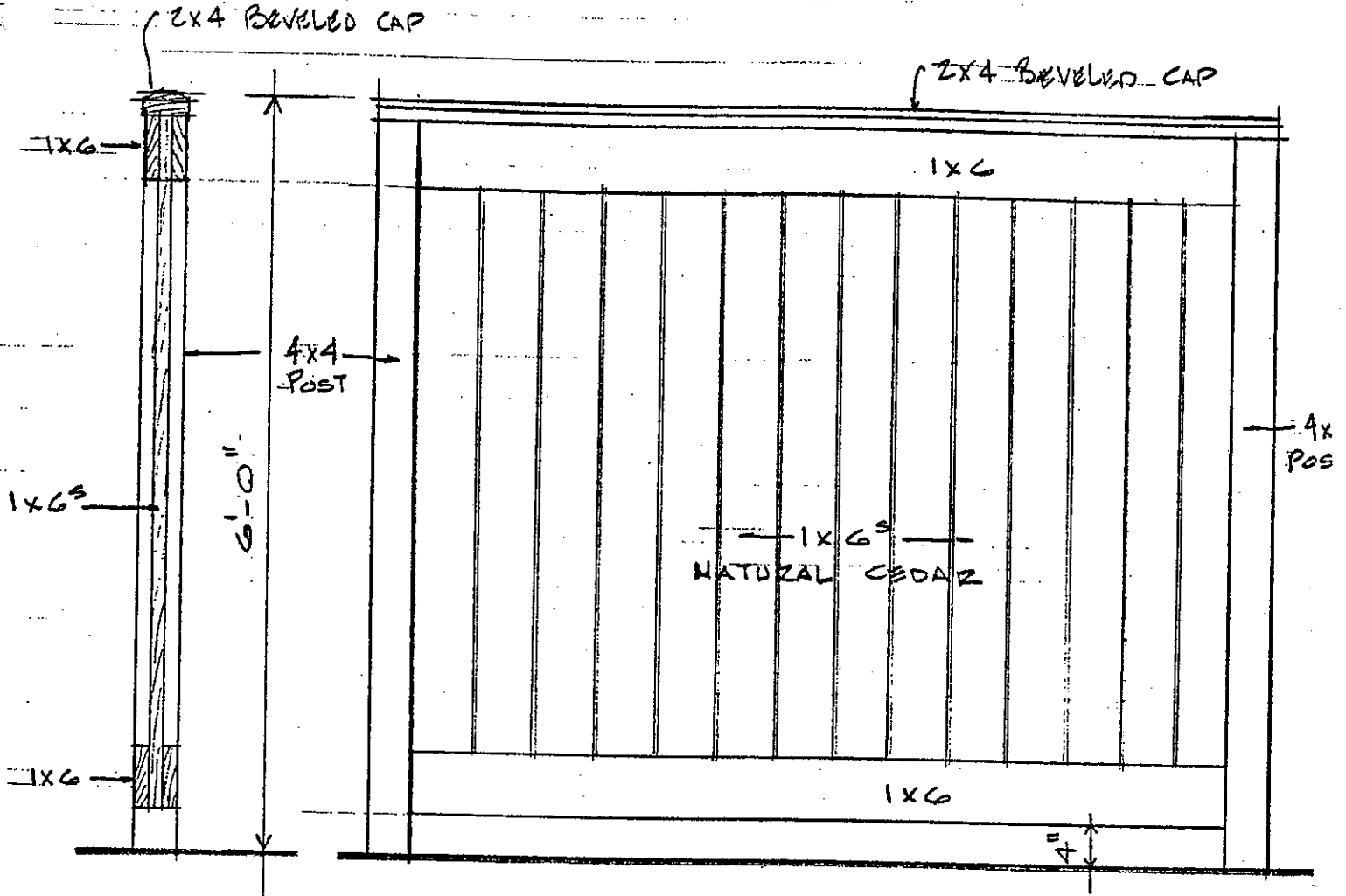
Additional guidelines for exterior modifications are available on the MVF website on the MVF website at www.montgomeryvillage.com.

FOREST BROOKE

Storage Shed Design and Location

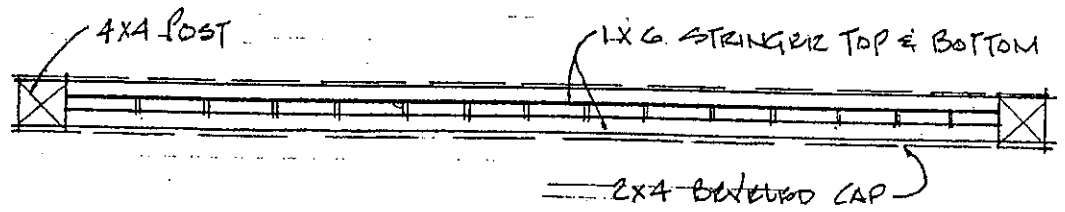


FOREST BROOKE



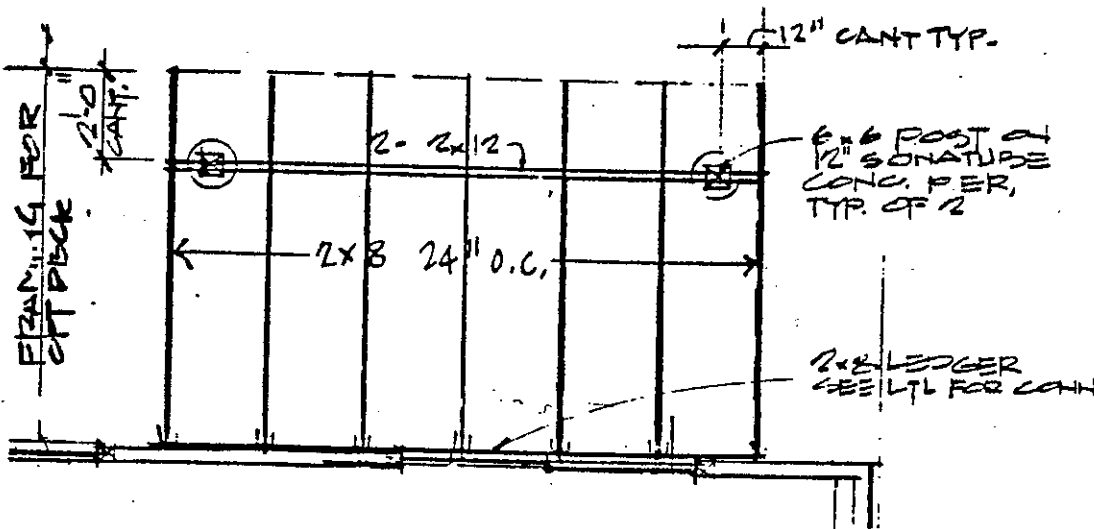
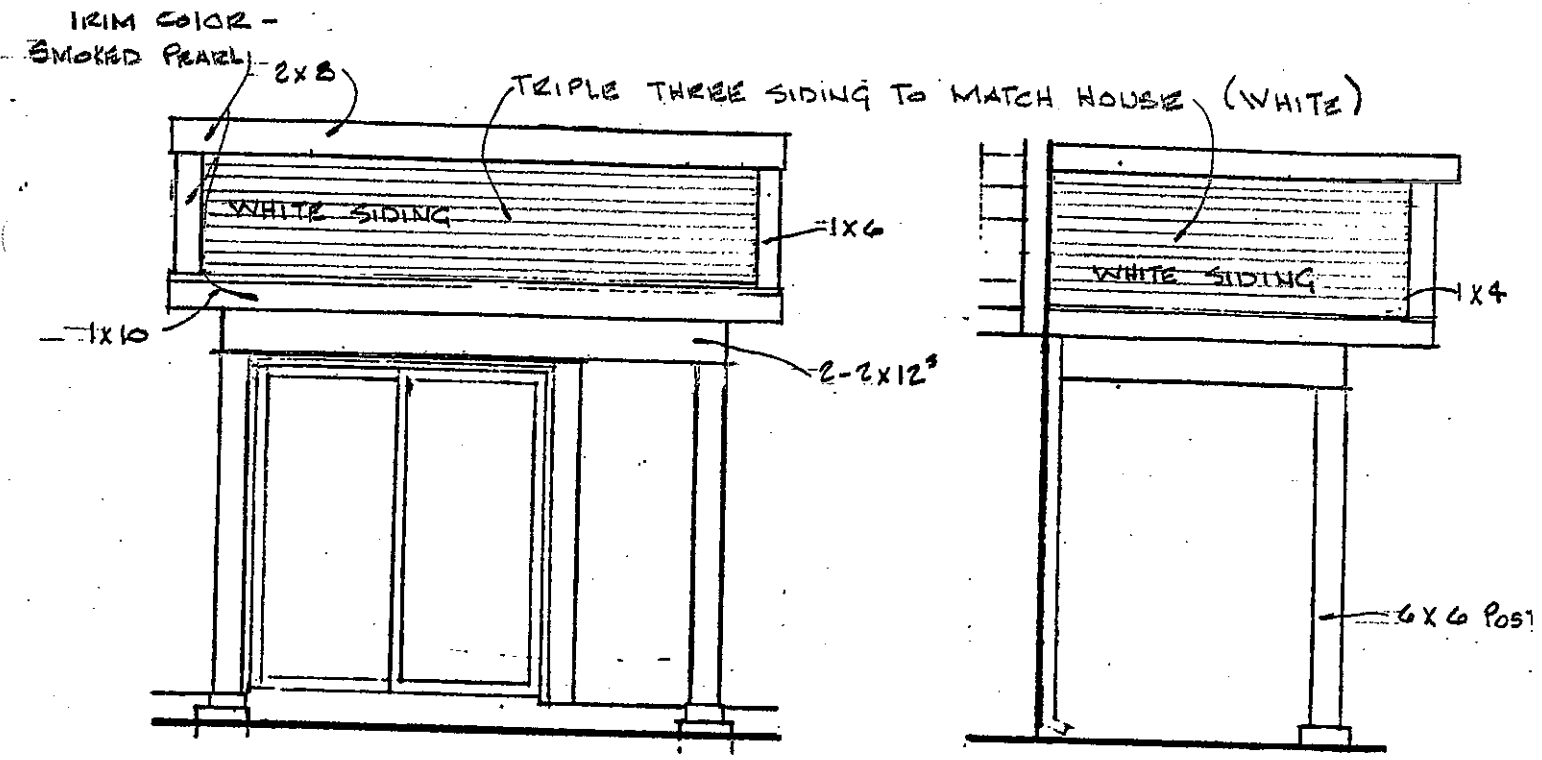
SECTION

PARTIAL ELEV.



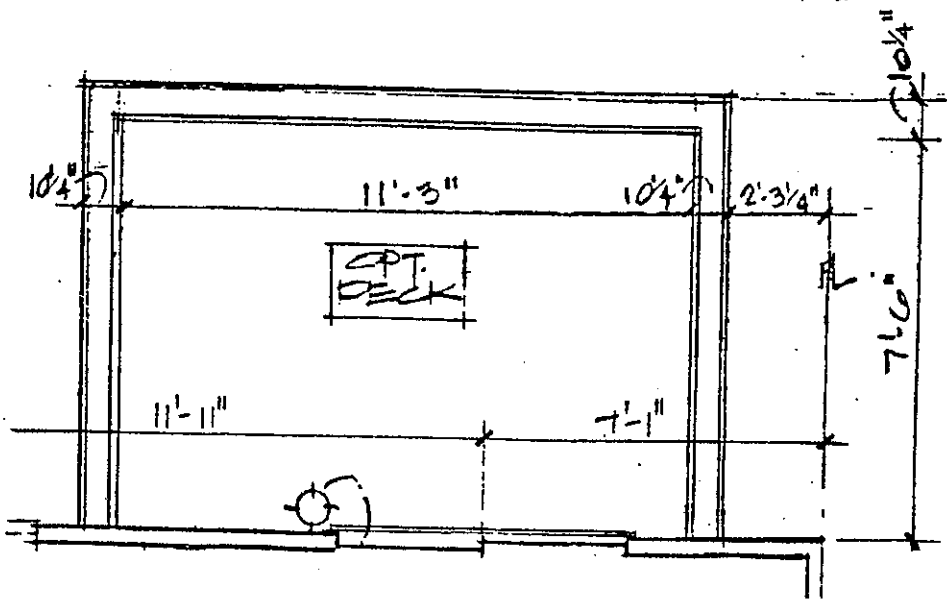
PLAN

Rear Yard Fences



FOREST BROOKE

Rear Deck Design and Plan





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ARCHITECTURAL STANDARDS DEPARTMENT

VILLAGE-WIDE SHED GUIDELINES

Wood or Pre-fabricated

These new guidelines may replace existing shed criterion for some homes corporations or it may serve only as an addendum to existing criteria. Because of the individuality of each community, sheds have to be reviewed on an individual basis. For the most part, these guidelines will be used as a Village-wide reference for staff, homeowners, for the Architectural Review Board, and the MVF Board of Directors.

1. Requisite: Only one shed per property will be approved.
2. Design and materials -
 - The roof style may be either gabled-framed or shed-framed (slanted). The roof material will be considered on an individual basis. The recommended roof material is either natural, unstained cedar wood shakes, or asphalt shingles in a color approved by the ARB.
 - Barn style roofs or other styles will not be approved.
 - Only one window is typically approved for a shed. Two windows may be considered on an individual basis.
 - Typically only one doorway is approved for a shed. Double doorways will be considered on an individual basis.
 - Although, originally, sheds were approved to be wood – Texture T-1-11 or grooved cedar – alternate shed materials will now be considered on an individual basis.
 - No shutters or window boxes will be approved for any shed.
3. Color –
 - If sheds are adjacent to the house, sheds are typically approved to be the color of the house siding or trim. The roof color is typically approved to be the same as the house. The siding and trim could be the same color.
 - If sheds are to be located in the rear yard, one solid, neutral color is preferred. All colors will be reviewed on an individual basis.
4. Location –
 - The location of the shed will be determined on an individual basis taking into account the lot configuration, lot size, relationship to the adjoining yard, and existing house and yard structures.

- Sheds to be located under elevated decks or in recessed areas of the house will have more flexibility as far as style and materials. Each application will be considered on an individual basis.

5. Size –

- **Single Family, Detached Home Communities:**
The recommended maximum width and length is 8'W x 10'L with a maximum height of 9' to the peak. Larger sheds will be considered on an individual basis.
- **Townhouse/ Zero-Lot-Line Communities with split-rail fences:**
The maximum width and length is 6'W x 8'L with a maximum height of 8' to the peak. Larger heights will be considered on an individual basis based on yard size.
- **Townhouse Communities with yard enclosure fences:**
The maximum width and length is 4'W x 8'L with the shed height not to exceed the fence height. Higher roof peaks will be considered on an individual basis.

These guidelines would not apply to communities which have a specific shed criterion (sheds constructed in conjunction with fences, etc.) or where sheds are prohibited.

VILLAGE-WIDE SHED GUIDELINES LIST OF COMMUNITIES

Homes Corporation	Communities with new shed guidelines	Communities where new shed guidelines will not apply (only existing criteria will apply)
Eastgate	Hickory Grove Kings Point The Meadows The Mews Ridgefield Wood Edge	Charlesgate
East Village	Ashford The Downs The Estates The Estates - Section 7B Essex Place II & III Gable Field Holly Pointe Meadowgate The Reach Wethersfield	Candleridge (material change) Glenbrooke
Maryland Place	Maryland Place	
Middle Village		Clubsie Thomas Choice West
Northgate	Apple Ridge Dorsey's Regard Shadow Oak The Points William's Range	McKendree Overlea
North Village	Essex Place I Pleasant Ridge Salem's Grant	Highland Hall McRory Perry Place Picton
Patton Ridge	Arrowhead Fairidge Greentee I & II Highfield Partridge Place	Fairway Island
Poplar Spring	Poplar Spring	
South Village	Center Stage	Dockside Grover's Forge Hamptons Millrace Nathan's Hill Walker's Choice
Stedwick	Club Hill Clusters I, II & III Frenhton Place The Heights The Ridges	Forest Brooke
Whetstone	Courts I, II & III Goshenside Lakeside The Ridges	