

ARCHITECTURAL STANDARDS POLICY FOR THE **FRENCHTON PLACE**
COMMUNITY OF THE STEDWICK HOMES CORPORATION

Any exterior modification including those listed below requires prior approval by the Montgomery Village Foundation Architectural Review Board.

To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **Frenchton Place** desiring to make exterior alterations or changes to their property. *All modifications must be completed within three months of board approval unless a specific exception is received.*

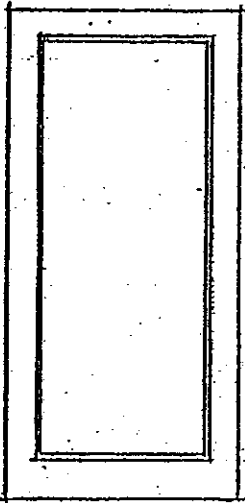
The purpose of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will allow new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** – Any change in color or style from original requires prior approval.
Bay Window Roof – The original color designated for the bay window roof was house trim color. The trim color must be maintained on the bay roof.
2. **Exterior Paint** - Exterior color change requests for house siding, trim, shutters, front door, storm door, garage door or garage trim are reviewed by the ARB on an individual basis and must be compatible with the style and design of each specific community. **Detached shared garages must have the same color of shutters, trim, garage doors and side doors. These shared garages were originally intended to appear as one unit.** No approval is required if the exterior paint colors are not changed from these recorded colors. Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. The Architectural Standards staff is available to assist homeowners in their color selection.
3. **Replacement Siding/Trim/Shutters** – Any change in color, style or material requires prior approval.
4. **Replacement Windows** – Must be double-hung style with grids and the color will be determined on an individual basis.
Storm Windows – Must be white or mill finish aluminum or painted the color of the window trim.

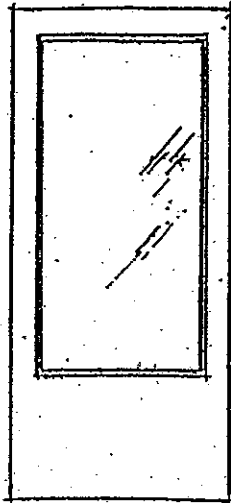
5. **Storm/Screen Doors** – Front entrance storm/screen door will be reviewed on an individual basis (see attached drawing for recommended styles). The color of the door must be either front door or house trim color.
Security Storm Door - Must be painted the front door color.
6. **Security Lighting** - Must conform to MVF approved guidelines. *Original light fixtures on front elevations must be retained (may include motion sensor lights).*
7. **Ground Level Deck** – Should be screened with shrubs to enclose that portion between deck and grade that is greater than 12” in height.
Deck Color – Any tinted stain or colored preservatives will be reviewed on an individual basis.
8. **Fence** – The developer-installed wood fence and brick walls must be retained. The fence style is to be solid board design, 6 feet in height, in cedar wood or pressure-treated lumber and natural in color. (See attached drawing for the original front yard privacy fence design.)
Gate – Must be a solid wood board gate, 42” in width, which matches one of the styles shown in the attached drawing.
9. **Storage Sheds** – Custom built sheds of wood will be permitted when built following attached plans (see drawings). Height of shed *must* not exceed height of existing wall or fence. Alternate styles and materials may be considered on an individual basis.
10. **House Numbers** – Only black or brass metal numbers no higher than 5” will be permitted. The original design and location must be retained unless otherwise approved.
11. **Basketball Backboards** – Are not permitted.
12. **Composting** - Residential composting of yard waste will be permitted according to approved guidelines. Contact MVF for these specific guidelines.

Additional guidelines for exterior modifications are available at the MVF office.

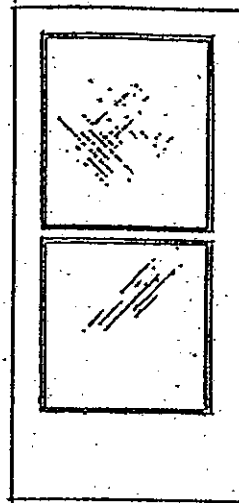
Recommended Storm Door Styles



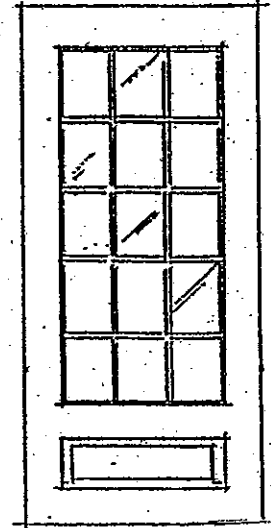
Full View



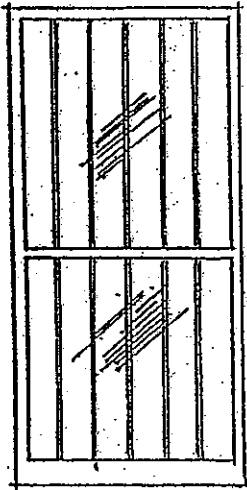
3/4 Glass



Self-storing



Wood & Lite



*Security storm doors
must be painted front
door color.*

Security Storm Door

FRENCHTON PLACE

Natural Cedar shingles or
Black Blend asphalt shingles

2x4 GAP IN FENCE

FENCE

1x4
CEDAR
BOARDS
(NATURAL)

2x4
DIP
BRACING

LIFT
LATCH

DOOR
LATCH

HINGE

1 1/2" x 8" PIPE - TOP
AT LATCH

4x4 POST

12"x12" CONC. FOOTINGS -
(2500 PSI CONC.)

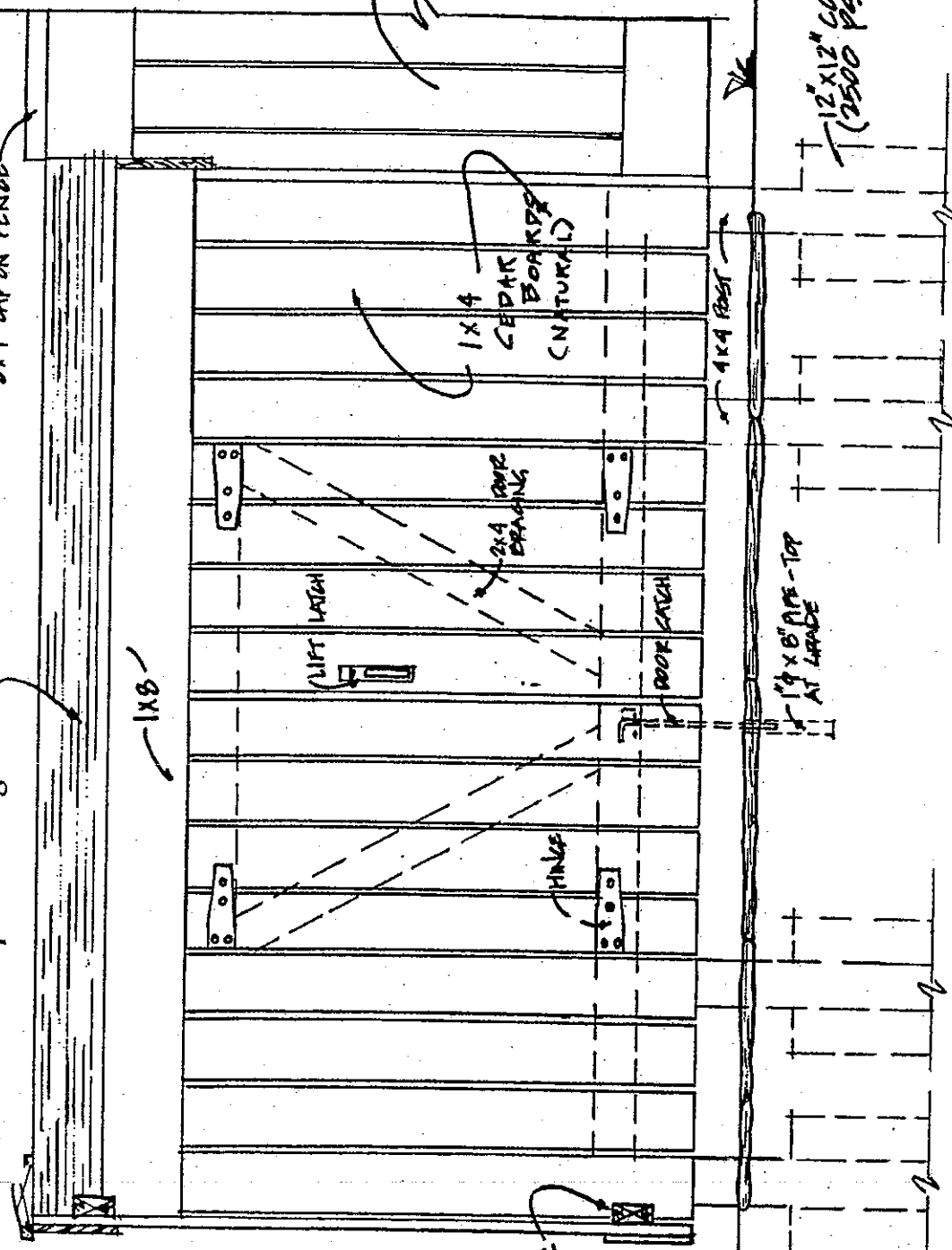
FENCE STRINGER

2'-0" TO BOTTOM
OF FOOTING

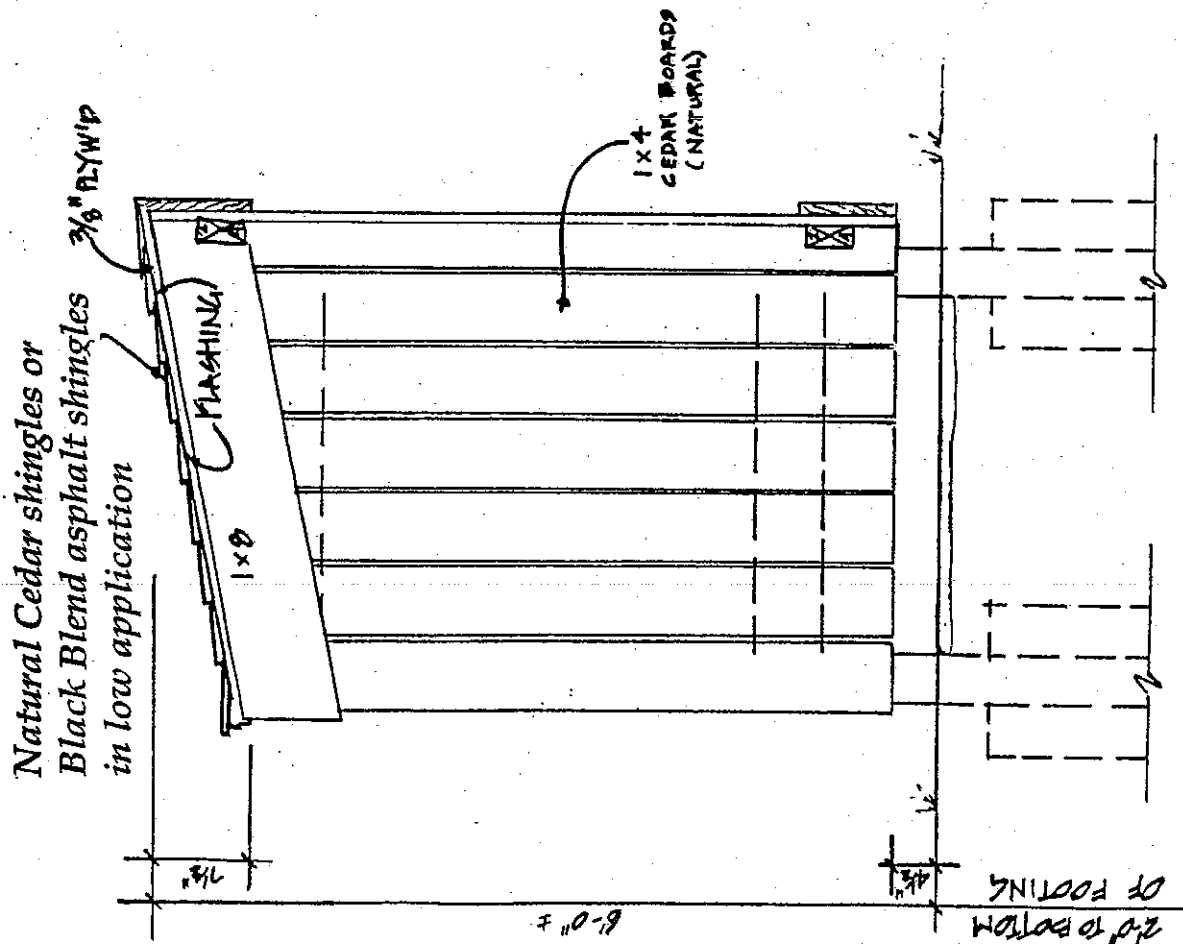
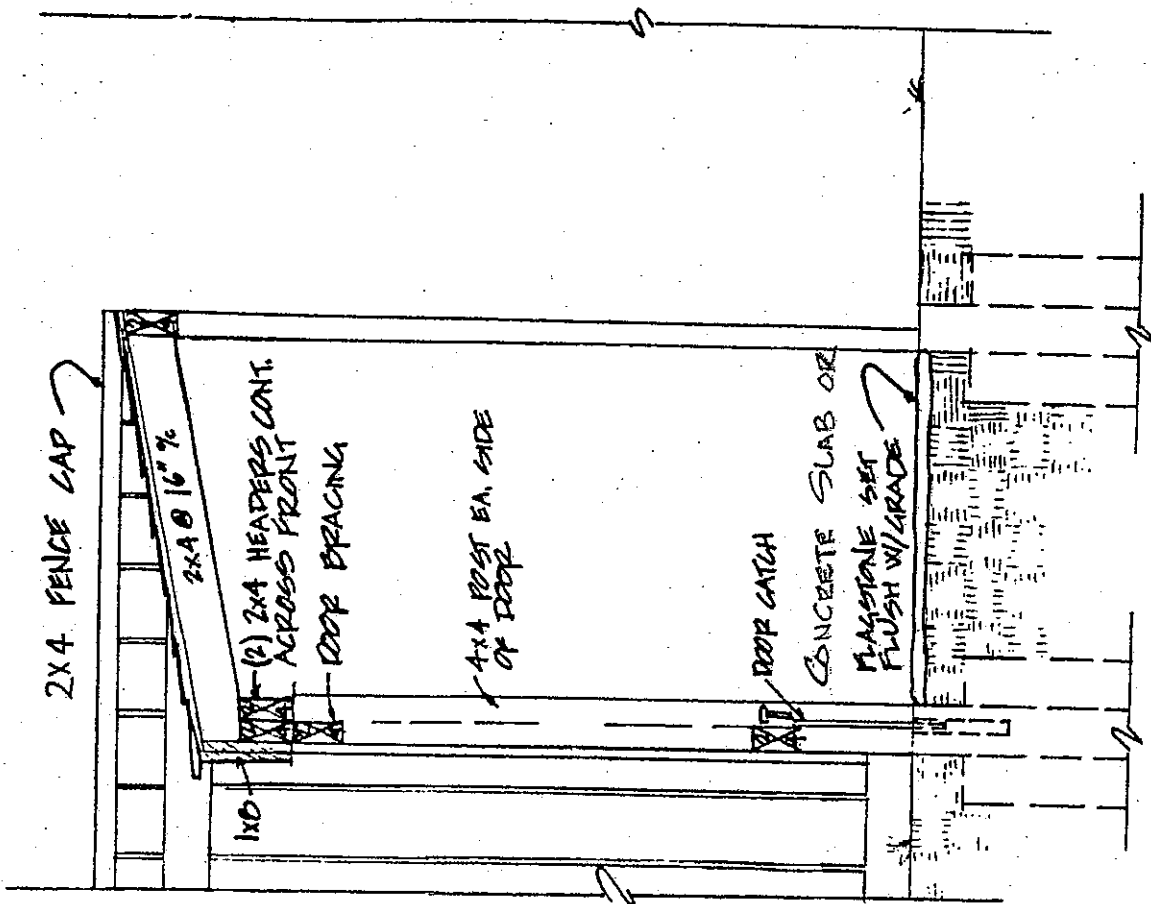
1x8

Storage Shed Design

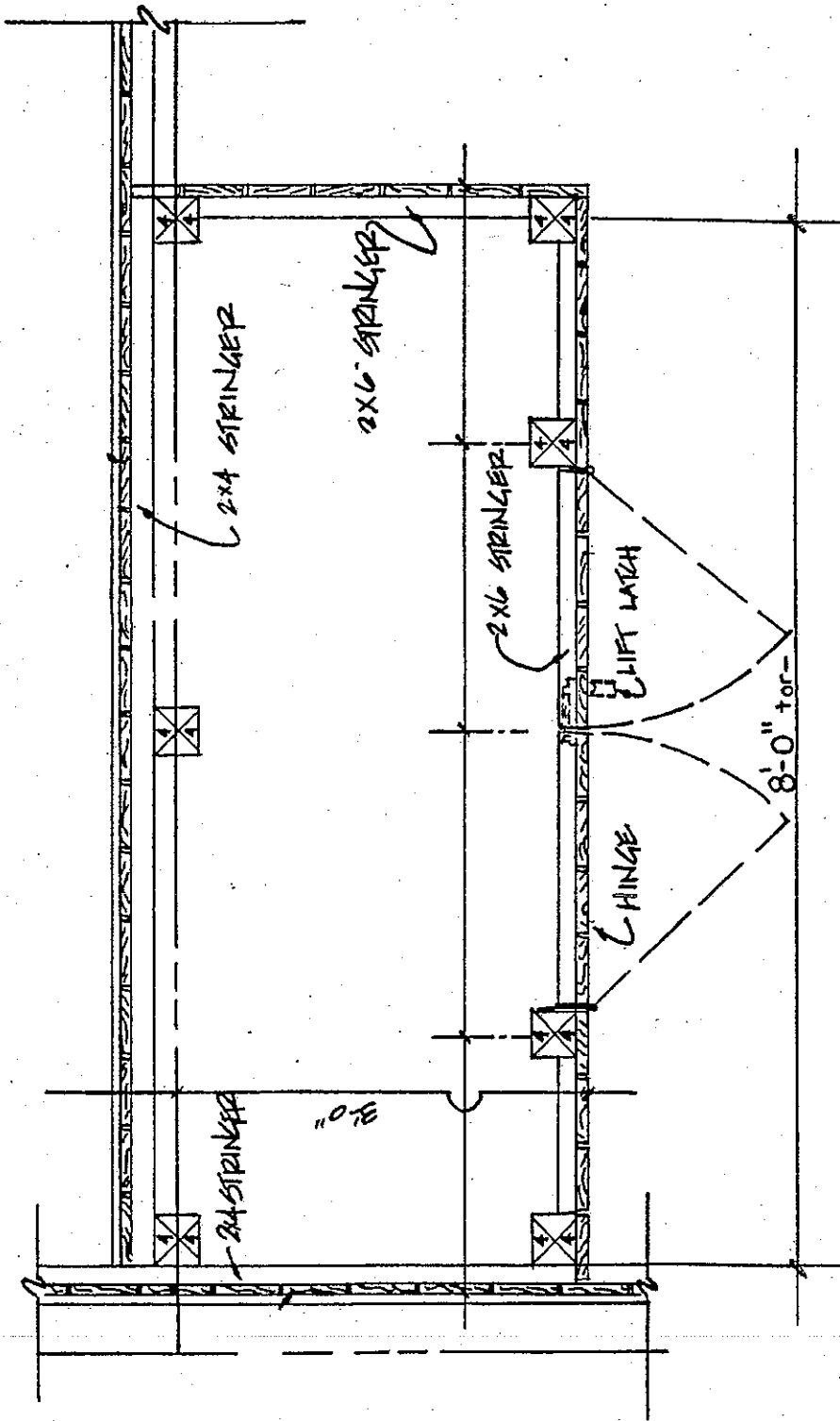
FRENCHTON PLACE



Storage Shed Design



FRENCHTON PLACE



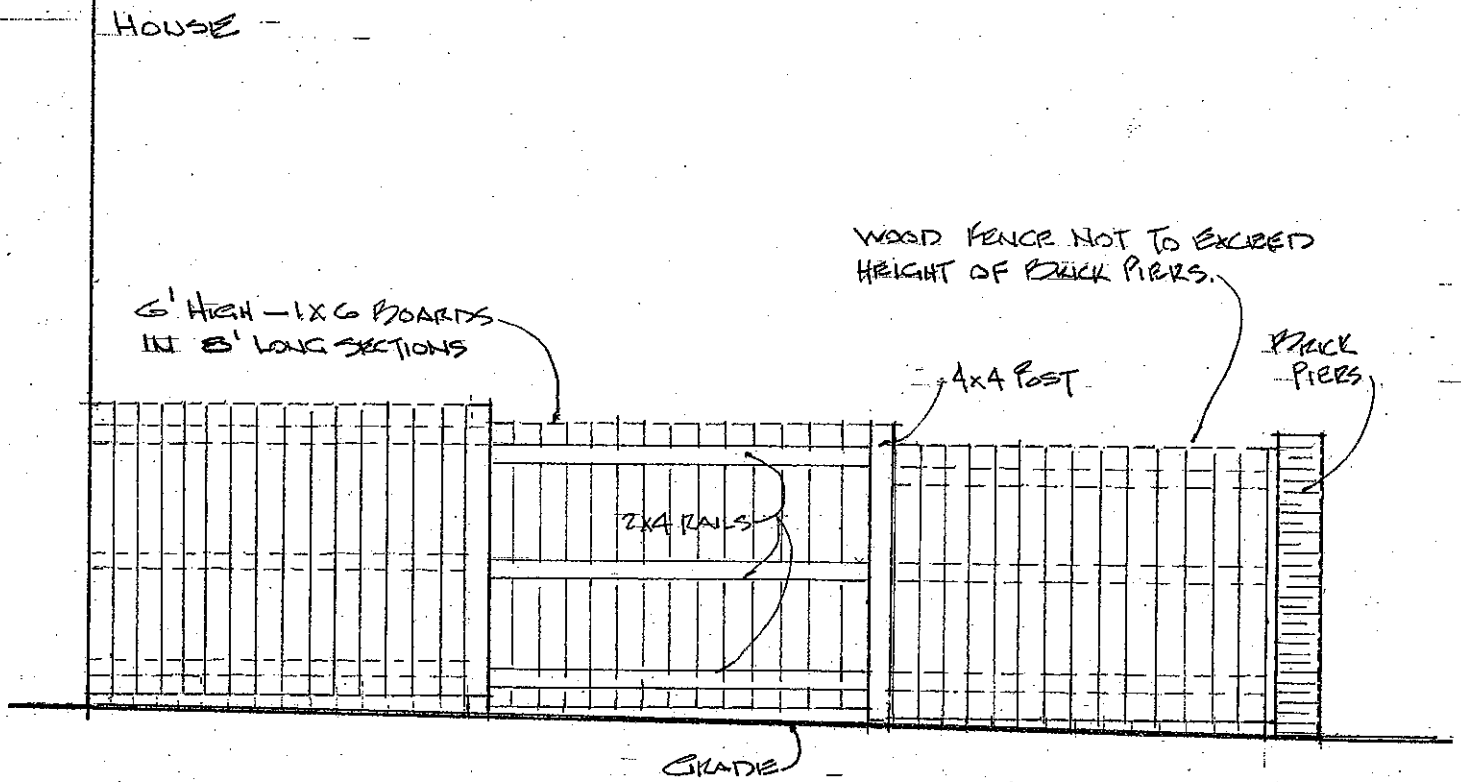
Storage Shed Plan

4 PLAN

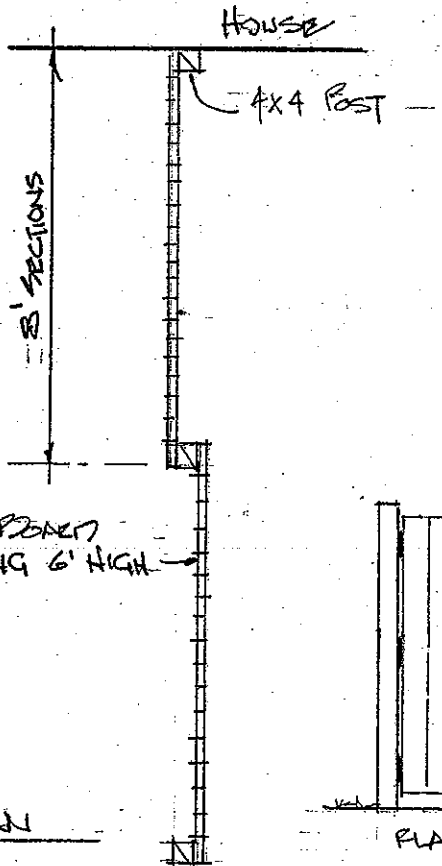
FRENCHTON PLACE

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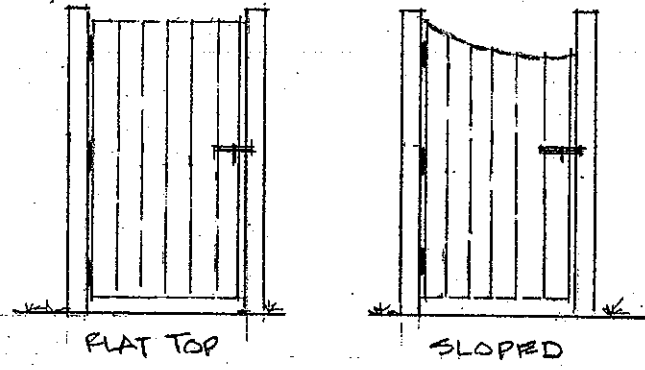
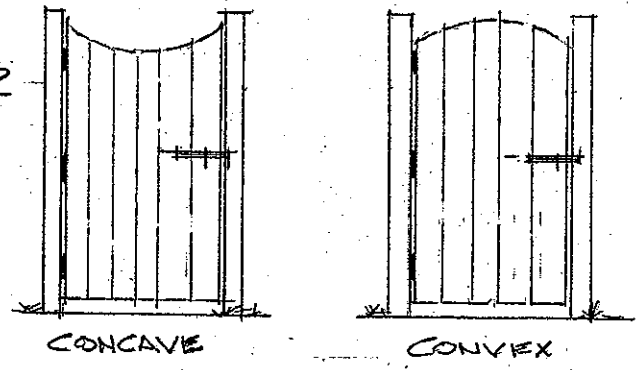
Original rear yard side property line fence design



ELEVATION



GATE STYLES 3'-6" WIDE



FRENCHTON PLACE

HOUSE

GARAGE

26' HIGH - 1 X 6 BOARDS
IN 8' LONG SECTIONS

FLAT TOP
GATE

OPT. CONVEX
GATE

2X4 RAILS

GRADE

Original front yard privacy fence design

