

ARCHITECTURAL STANDARDS POLICY FOR THE **ESSEX PLACE** COMMUNITY
OF THE NORTH VILLAGE HOMES CORPORATION

Any exterior modification including those listed below requires prior approval by the Montgomery Village Foundation Architectural Review Board.

Purpose: To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **Essex Place** desiring to make exterior alterations or changes to their property. *All modifications must be completed within three months of board approval unless a specific exception is received.*

The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** – The roof shingle color is a standard color, Certainteed "Moiré Black".
2. **Exterior Paint** - Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. No approval is required if the exterior paint colors are not changed from these recorded colors. Exterior color change requests for house siding, trim, shutters, front door, storm door, garage door or garage trim are reviewed by the ARB on an individual basis and must be compatible with the style and design of each specific community. The Architectural Standards staff is available to assist homeowners in their color selection.
3. **Front Entrance Metal Bay Roofs** – Original weathered copper standing seam metal roofs may be painted McCormick Paint #216 "Hearthstone".
4. **Replacement Siding/Trim/Shutters** – Any change in color, style or material requires prior approval. All original house details must be retained when replacement siding or trim material is used or when the original wood trim boards are capped. Replacement material colors will be determined upon application. The areas above the dormer windows which original had flat wood material must be replaced with **flat replacement material**.
5. **Replacement Front Door** – Must be approved **prior** to installation. Style and color will be determined on an individual basis. If community front door guidelines have been established, the guidelines will be referred to when considering a replacement door.
6. **Replacement Windows** – Must be double-hung style with grids to match the original grid pattern and color to be considered on an individual basis.
Storm Windows – Must be white in color or painted the color of the window trim.
Window Grids – **Must be retained in the glass panes of all windows.**

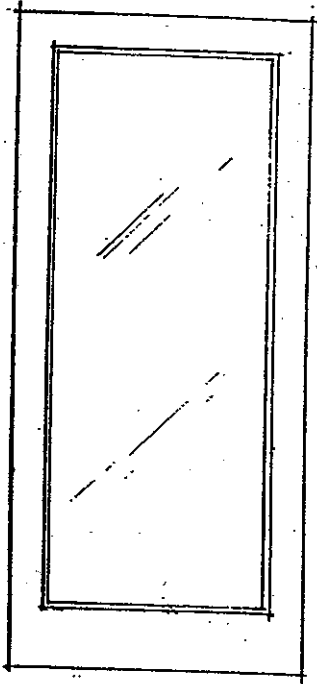
7. **Storm/Screen Door** – Front entrance storm/screen door will be reviewed on an individual basis (see attached drawing for recommended styles). The color of the door must be front door color.
Security Door – Must be front door color.
8. **Security Lighting** – Must conform to MVF approved guidelines. *Original light fixtures on front elevations must be retained (may or may not include motion sensor lights).*
9. **Elevated “Walkout Model” Deck** – Must not exceed 10’ in depth from the rear of the house (see drawing). The enclosing or covering of a deck will not be permitted. The design, including railings, must follow the attached deck plans (see drawings).
Elevated “Half-Walkout Model” Deck - Must not exceed 12’ in depth from the rear of the house (see drawing). The enclosing the area beneath the deck will be permitted when built in accordance with the attached plan (see drawing). *Decks must be enclosed on all sides.*
Ground Level Deck – Should be screened with shrubs to enclose that portion between the deck and the grade that is greater than 12" in height.
Deck Color – The original deck color was McCormick Stain #KCS-3. When repainting the deck, the new color must match Olympic “Eiffel Tower”.
10. **Fence** – Developer installed wood fences must be retained. The alternating board style fence must be the same style, height, and color as originally installed by the developer (see drawing). The original fence color was McCormick Stain #KCS-3. When repainting the fence, the new color to be used is Olympic “Eiffel Tower”.
Gate - May have a flat top or a rounded top (see drawing).
Privacy Fencing – Developer installed wood privacy fencing must be retained.
11. **Storage Sheds** – Will be approved in accordance with attached Shed Guidelines. (See attachment).
12. **House Numbers** – Only black or brass metal numbers no higher than 5” will be permitted. The original design and location must be retained unless otherwise approved.
13. **Basketball Backboards** – Are not permitted.
14. **Composting** – Residential composting of yard waste will be permitted according to approved guidelines. Contact MVF for these specific guidelines.

Additional guidelines for exterior modifications are available at the MVF office.

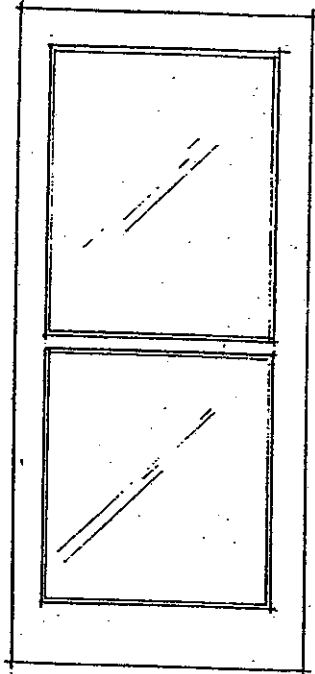
Adopted by MVF/BOD - 11/23/82

Revised 1984, 1985, 1993, 1995, 1996, 2001, 2008, 2010 (storm door), 2011(shed, deck color)

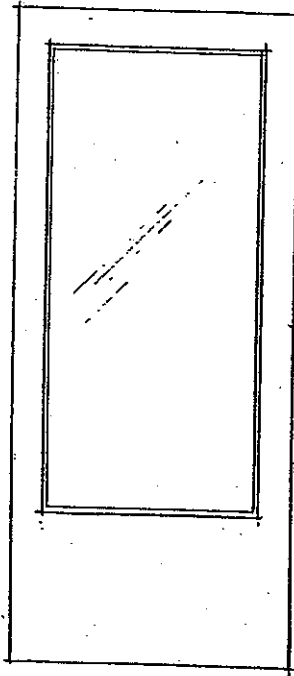
Recommended Storm Door Styles



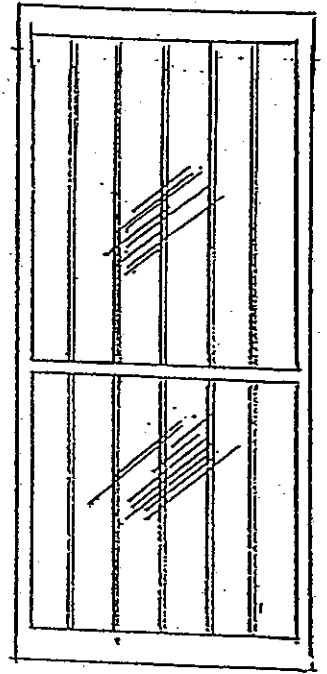
Full-view



Self-storing



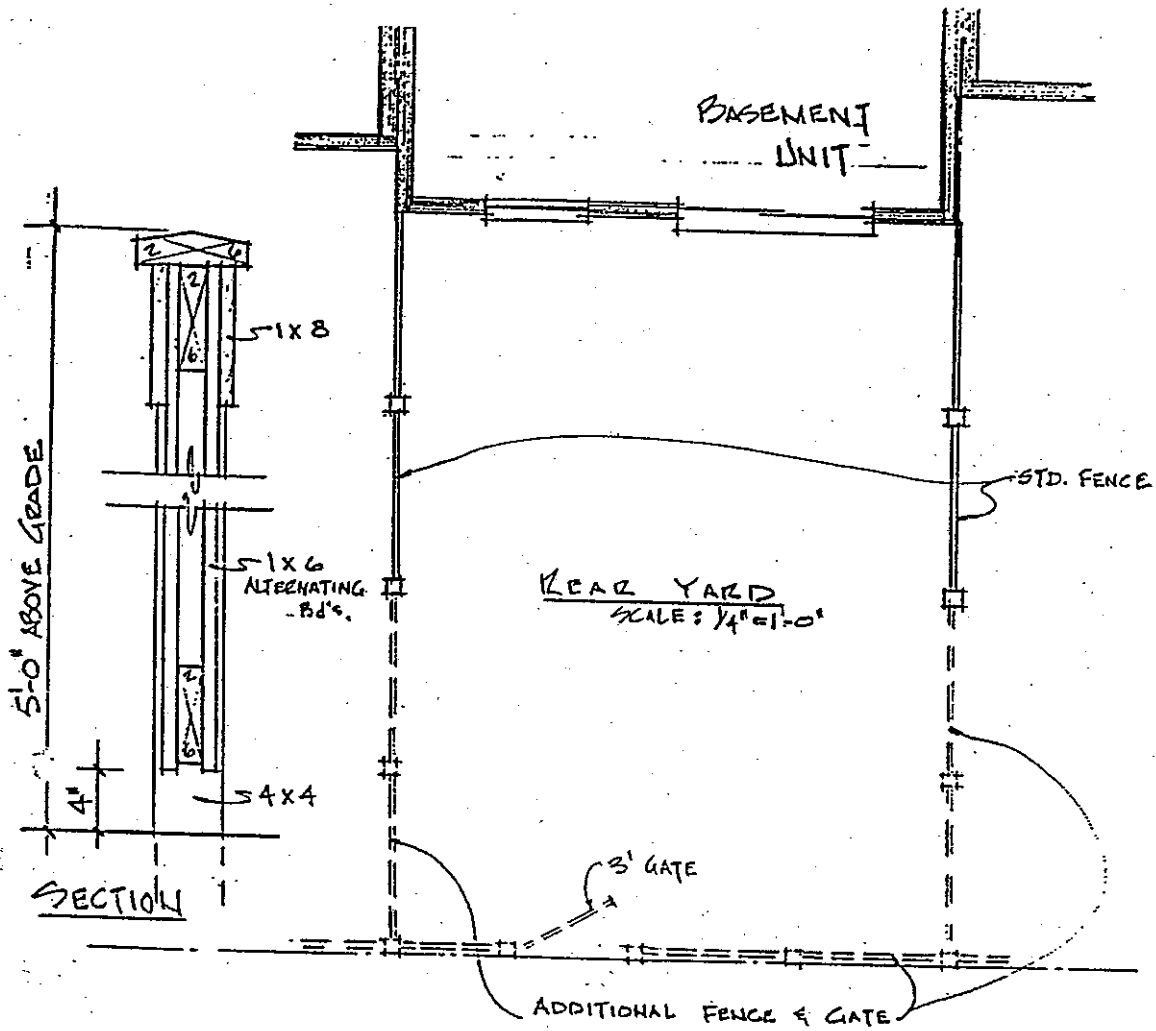
$\frac{3}{4}$ Glass



Security Storm Door
*Security storm doors
must be painted front
door color.*

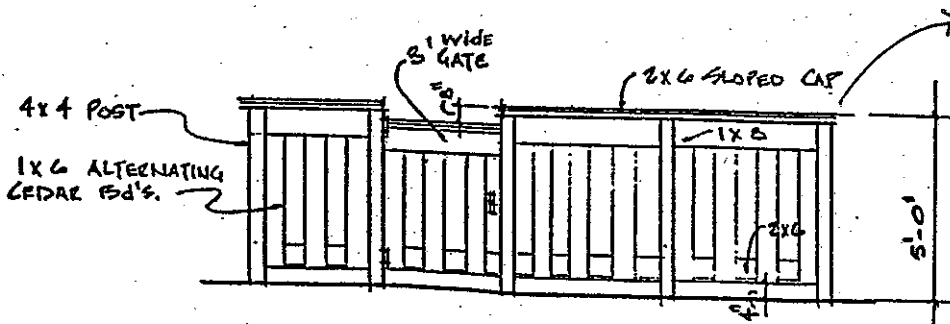
ESSEX PLACE

Fence Detail and Location

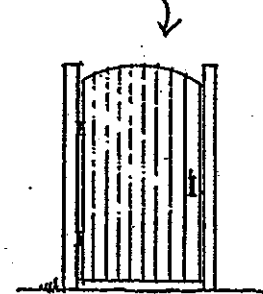


Gate Styles

The color of the fence and the gate must be Olympic "Eiffel Tower".

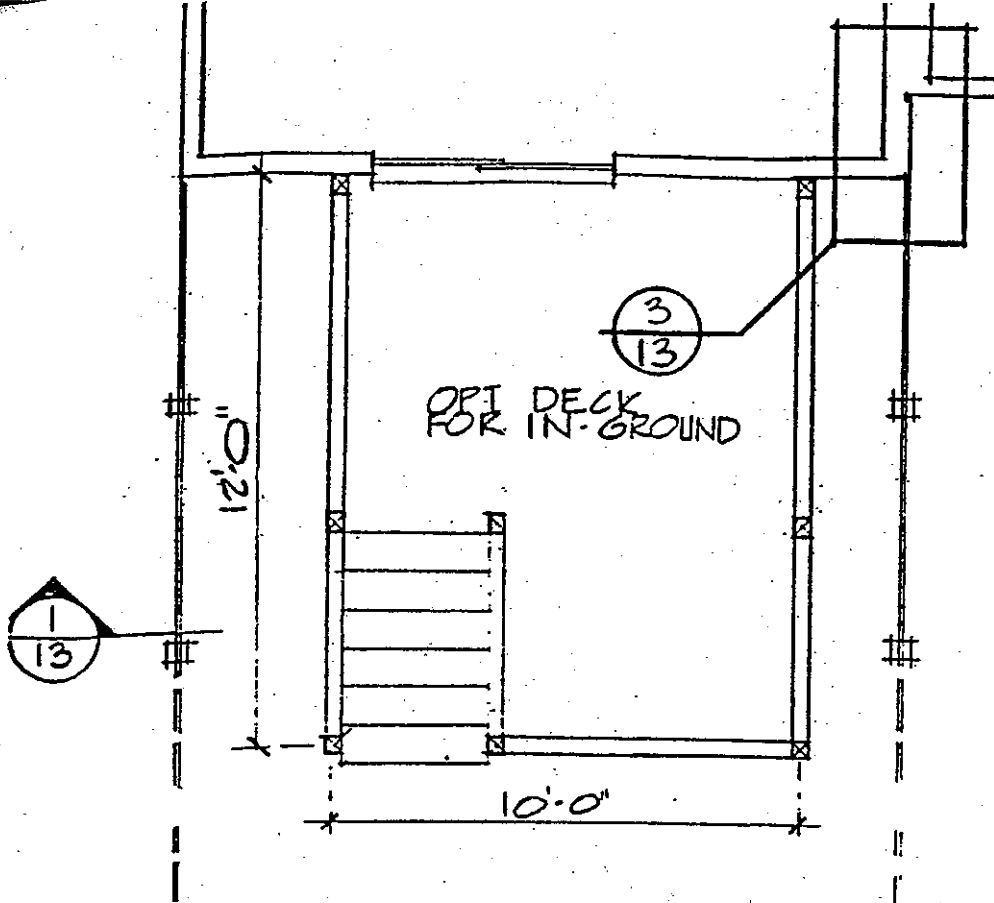


Flat Top

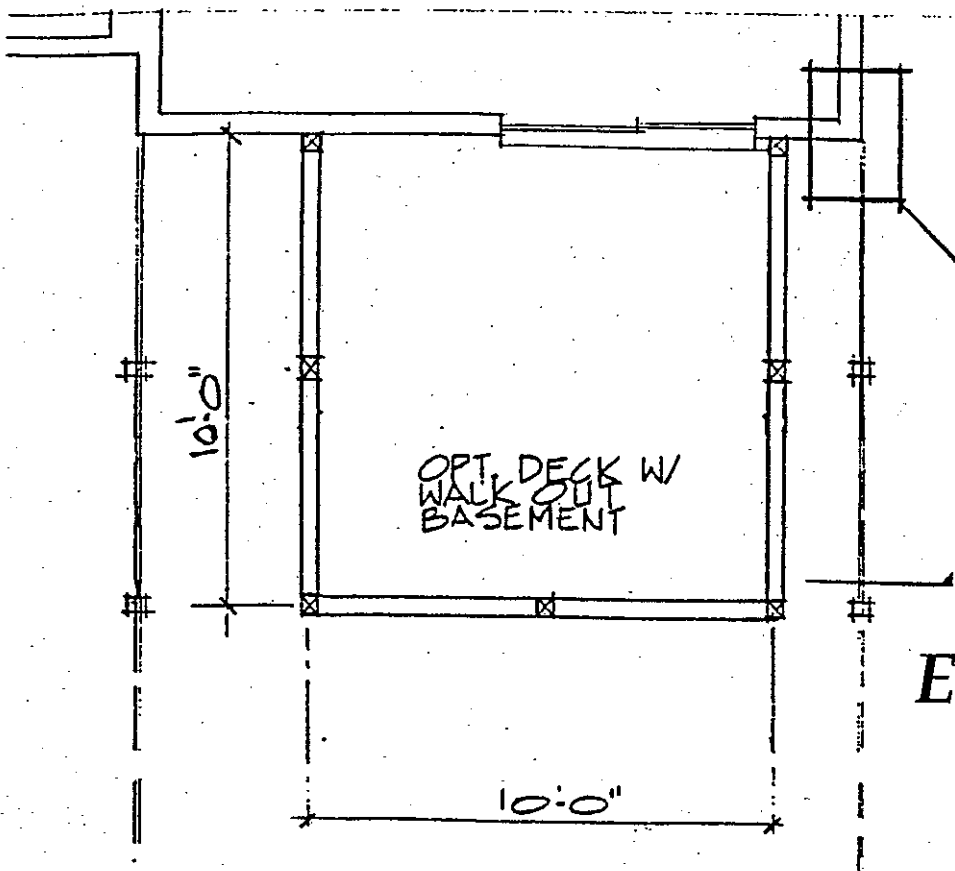


Convex Top

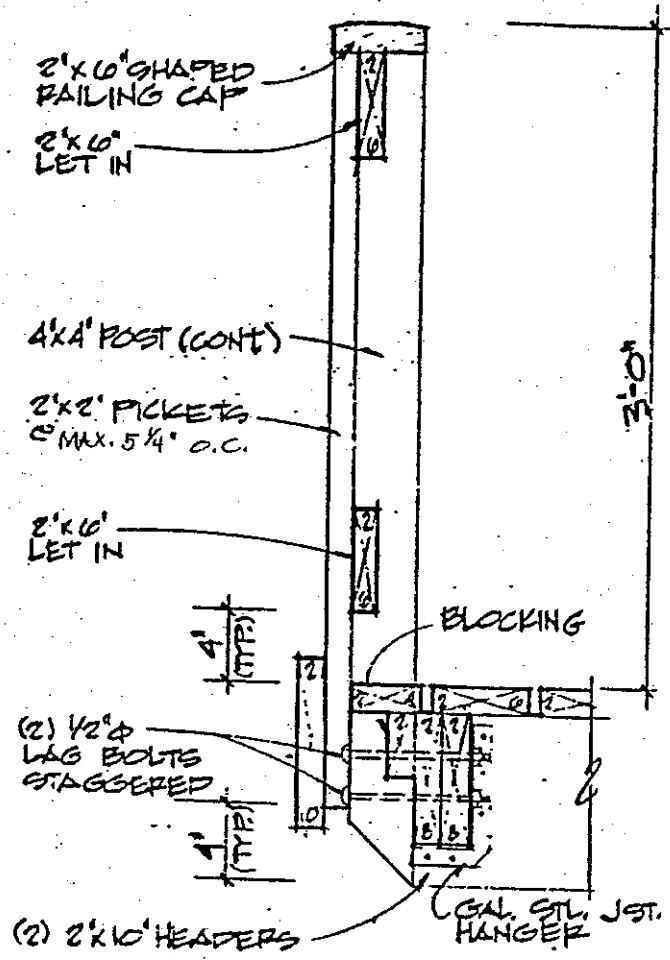
ESSEX PLACE



Rear Deck Plan



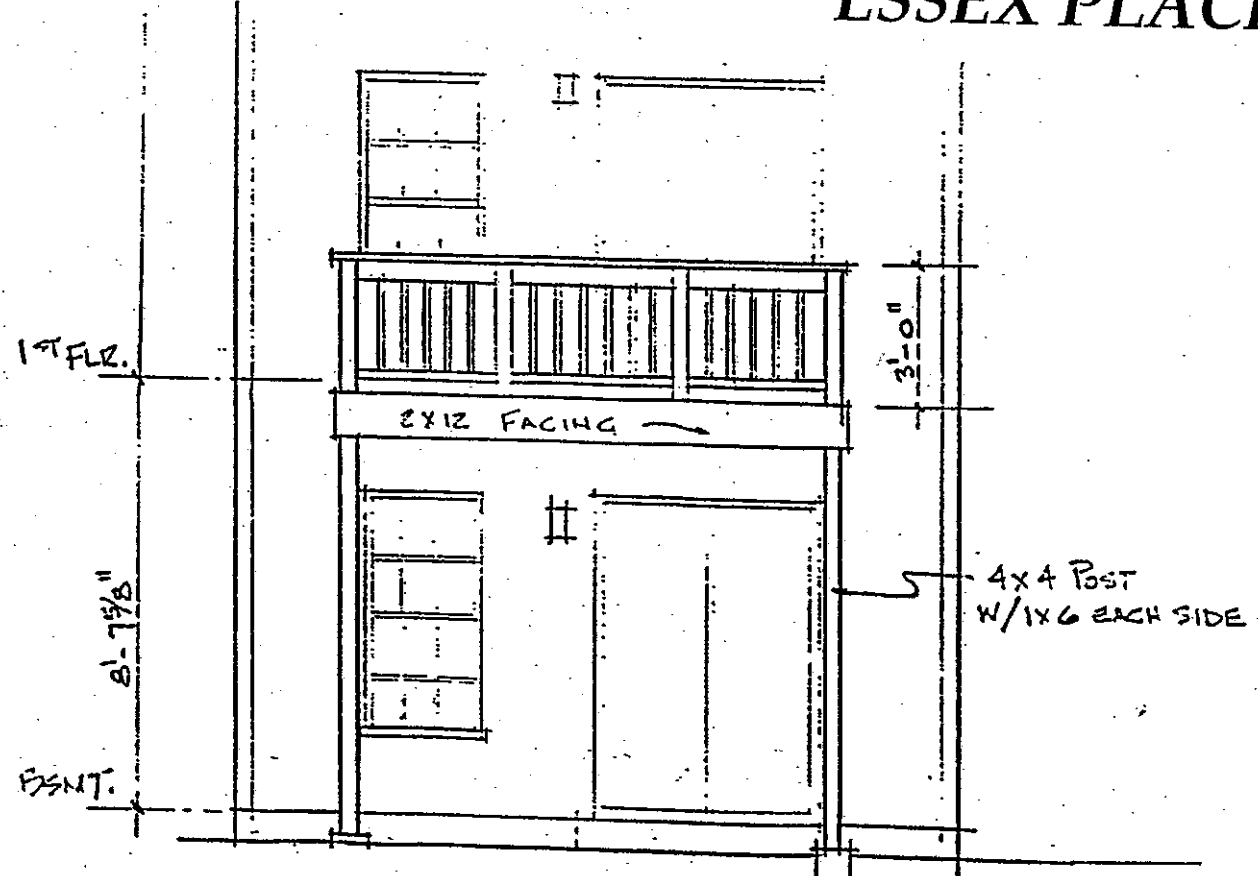
ESSEX PLACE



Elevated Deck Rail Detail

Remember to check local building codes.

ESSEX PLACE



Rear Elevation - Elevated Deck

Recommended Shed Design (End Unit Only)

PROPERTY LINE

12-01-02

HOUSE

ALT. LOCATION
STORAGE SHED

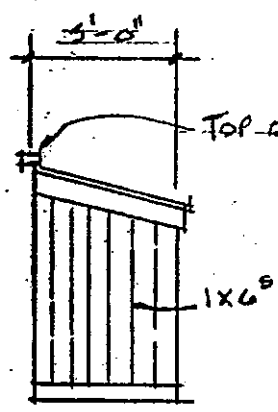
DECK

REAR YARD

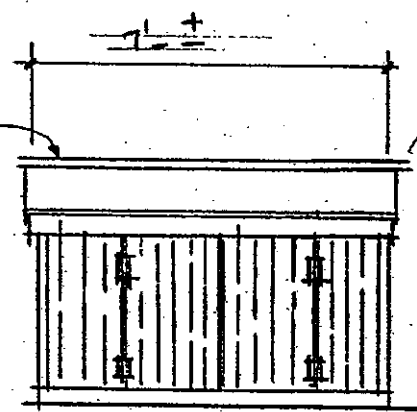
EXISTING FENCE

FENCING AS SHOWN
IS REQUIRED FOR
THIS SHED LOCATION

REAR PROPERTY LINE



SIDE ELEV.



FRONT ELEV.

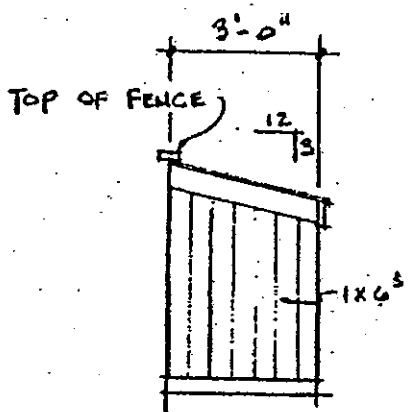
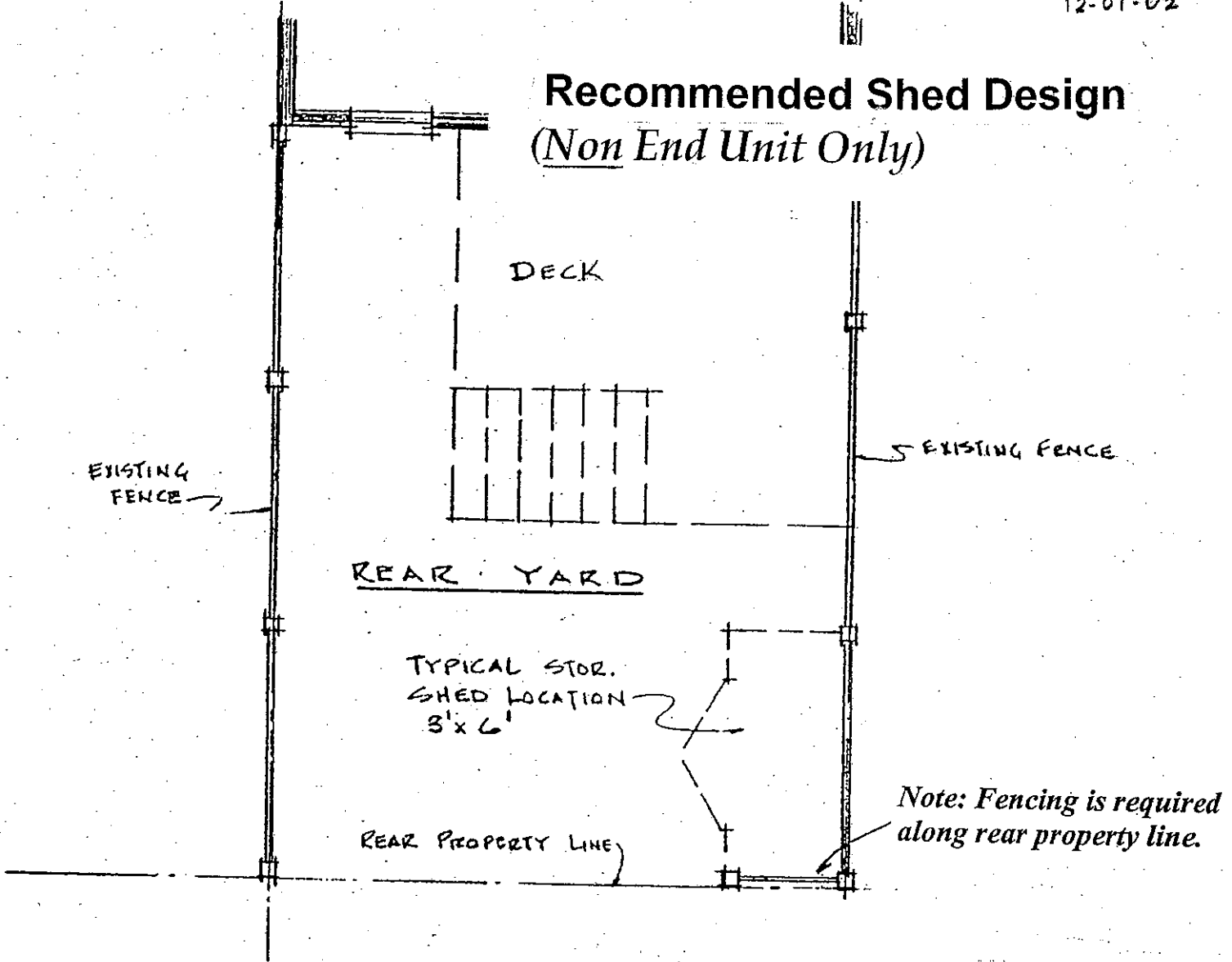
The color of the she must be Olympic "Eiffel Tower".
The shed roof shingles must be Certainteed "Moire Black".

NOTES:

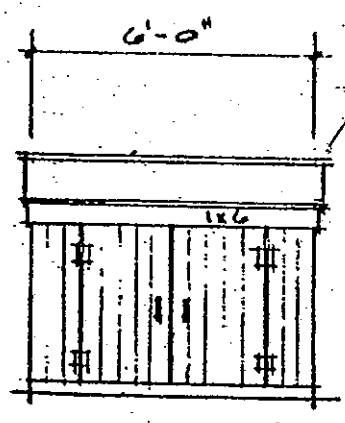
- SHINGLES - TO MATCH HOUSE
- SHED STAIN - TO MATCH FENCE

ESSEX PLACE

Recommended Shed Design (Non End Unit Only)



SIDE ELEV.



FRONT ELEV.

The color of the she must be Olympic "Eiffel Tower".
The shed roof shingles must be Certainteed "Moire-Black".

NOTE:

1. SHINGLES - TO MATCH HOUSE
2. SHED STAIN - TO MATCH FENCE

ESSEX PLACE



MONTGOMERY VILLAGE FOUNDATION, INC.

10120 APPLE RIDGE ROAD
MONTGOMERY VILLAGE, MARYLAND 20886-1000

(301) 948-0110 FAX (301) 990-7071 www.mvf.org

ARCHITECTURAL STANDARDS DEPARTMENT

VILLAGE-WIDE SHED GUIDELINES

Wood or Pre-fabricated

These new guidelines may replace existing shed criterion for some homes corporations or it may serve only as an addendum to existing criteria. Because of the individuality of each community, sheds have to be reviewed on an individual basis. For the most part, these guidelines will be used as a Village-wide reference for staff, homeowners, for the Architectural Review Board, and the MVF Board of Directors.

1. Requisite: Only one shed per property will be approved.
2. Design and materials -
 - The roof style may be either gabled-framed or shed-framed (slanted). The roof material will be considered on an individual basis. The recommended roof material is either natural, unstained cedar wood shakes, or asphalt shingles in a color approved by the ARB.
 - Barn style roofs or other styles will not be approved.
 - Only one window is typically approved for a shed. Two windows may be considered on an individual basis.
 - Typically only one doorway is approved for a shed. Double doorways will be considered on an individual basis.
 - Although, originally, sheds were approved to be wood – Texture T-1-11 or grooved cedar – alternate shed materials will now be considered on an individual basis.
 - No shutters or window boxes will be approved for any shed.
3. Color –
 - If sheds are adjacent to the house, sheds are typically approved to be the color of the house siding or trim. The roof color is typically approved to be the same as the house. The siding and trim could be the same color.
 - If sheds are to be located in the rear yard, one solid, neutral color is preferred. All colors will be reviewed on an individual basis.
4. Location –
 - The location of the shed will be determined on an individual basis taking into account the lot configuration, lot size, relationship to the adjoining yard, and existing house and yard structures.

- Sheds to be located under elevated decks or in recessed areas of the house will have more flexibility as far as style and materials. Each application will be considered on an individual basis.

5. Size –

- **Single Family, Detached Home Communities:**
The recommended maximum width and length is 8'W x 10'L with a maximum height of 9' to the peak. Larger sheds will be considered on an individual basis.
- **Townhouse/ Zero-Lot-Line Communities with split-rail fences:**
The maximum width and length is 6'W x 8'L with a maximum height of 8' to the peak. Larger heights will be considered on an individual basis based on yard size.
- **Townhouse Communities with yard enclosure fences:**
The maximum width and length is 4'W x 8'L with the shed height not to exceed the fence height. Higher roof peaks will be considered on an individual basis.

These guidelines would not apply to communities which have a specific shed criterion (sheds constructed in conjunction with fences, etc.) or where sheds are prohibited.

Sheds prohibited in:

Dockside
Gablefield
Meadowgate
Highland Hall
Fairway Islands

Sheds prohibited if not built according to plan:

Millrace

Community Listings

Homes corporation	Communities with new shed guidelines	Communities where new shed guidelines will not apply (only existing criteria will apply)
Eastgate	Hickory Grove	Charlesgate
	Kings Point	
	The Meadows	
	The Mews	
	Ridgefield	
	Wood Edge	
East Village	Ashford	Candleridge
	The Downs	Gablefield
	The Estates	Glenbrooke
	The Estates- Section B	Holly Pointe
	Essex Place II	Meadowgate
	The Reach	Wethersfield
Maryland Place	Maryland Place	N/A
Middle Village	N/A	Clubsie
		Thomas Choice West
Northgate	The Points	Apple Ridge
	Shadow Oak	Dorsey's Regard
	William's Range	McKendree
		Overlea
North Village	Essex Place	Highland Hall
	Pleasant Ridge	McRory
	Salem's Grant	Perry Place
		Picton
Patton Ridge	Fairidge	Arrowhead
	Highfield	Fairway Island
	Partridge Place	Greentee I & II
Poplar Spring	Poplar Spring	N/A
South Village	Center Stage	Dockside
		Grover's Forge
		Hamptons
		Millrace
		Nathan's Hill
		Walker's Choice
Stedwick	Club Hill	Forest Brooke
	Clusters I, II & III	Frenchton Place
	The Heights	
	The Ridges	
Whetstone	Courts I, II & III	N/A
	Goshenside	
	Lakeside	
	The Ridges	