

ARCHITECTURAL STANDARDS POLICY FOR THE CLUB HILL
COMMUNITY OF THE STEDWICK HOMES CORPORATION

Any exterior modification including those listed below requires prior approval by the Montgomery Village Foundation Architectural Review Board.

Purpose: To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **Club Hill** desiring to make exterior alterations or changes to their property. ***All modifications must be completed within three months of board approval unless a specific exception is received.***

The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** - The roof shingle color is standard and may not be changed. The original roof color was **Philip-Carey** "Chocolate Brown". Any replacement to this roof must be ***Certainteed "Walnut Brown", "Oakwood Brown" or "Cedar Brown"***.
2. **Exterior Paint** - Exterior color change requests for house siding, trim, shutters, front door, or storm door are reviewed by the ARB on an individual basis. These changes must be compatible with the style and design of each specific community. No approval is required if the exterior paint colors are not changed from these recorded colors. Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. The Architectural Standards staff is available to assist homeowners in their color selection.
3. **Replacement Siding/Trim/Shutters** – Any change in color, style or material requires prior approval.
4. **Replacement Windows** – Must be the slider style without grids. The color will be considered on an individual basis.
Storm Windows – Must be sliders and the color will be reviewed on an individual basis.
5. **Storm/Screen Doors** – The recommended style for the front entrance storm/screen door is full-view, ¾ glass, or self-storing, painted the color of the front door (see attached drawing). Other styles and colors may be considered on an individual basis. ***White storm doors will not be approved.***
Security Storm Door - Must be the color of the front door color.

6. **Security Lighting** - Must conform to MVF approved guidelines. *Original light fixtures on front elevations must be retained (may include motion sensor lights).*
7. **Elevated Deck** – To be reviewed on an individual basis and subject to the following:
 - a) Deck is not to exceed 8 feet in depth from the rear of the house. Where there is a bay projecting out from the rear of the original construction, the deck may project 10 feet in depth from the rear wall of the house but not the bay.
 - b.) The width of the deck may extend from the outside edge of the sliding glass door to the outside edge of the opposite sliding glass door or window.
 - c) The design, including railings, must follow attached plan for deck (see drawing attachments).
 - d) A third center support post may be added if required. This additional post must match the other deck posts in all details (see drawing attachments).

Elevated Deck Color - Decks may be *natural wood* color or they may also be *stained house siding* color, **or** a standard color, *McCormick Stain #KCS-12*. Only *clear* preservatives may be used.

Ground Level Deck – Should be screened with shrubs to enclose that portion between deck and grade that is greater than 12” in height.

8. **Fences** – Must be 1” x 6” alternating cedar or pressure treated wood, height of 48”, 60” or 72” to be determined on an individual basis and natural in color (see drawing). Fencing will be permitted on rear property lines and side property lines extending from the rear corner of the house.

Gate – Must be the solid board design, 42” in width (see attached drawing).

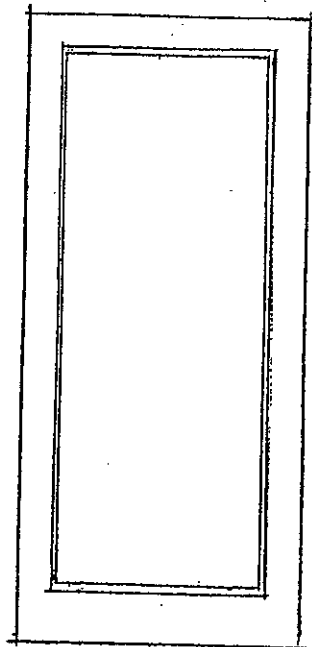
Privacy Fencing - Closed fence for screening purposes to extend from rear corner of the house and to be a 6 foot high, 1" x 6" staggered cedar, or pressure treated wood fence, not to exceed 8 linear feet in length. Color to be natural wood.
9. **Storage Sheds** – Developer installed sheds may be left natural in color, or they may be stained a standard color, Behr “Chatham Fog”. *If the shed is stained, the privacy fence that connects the shed to the house must remain natural wood.* Alternate styles and materials may be considered on an individual basis for non-developer installed sheds.
10. **House Numbers** – Only black or brass metal numbers, no higher than 5”, will be permitted. The original design and location must be retained unless otherwise approved.
11. **Basketball Backboards** - Are not permitted.
12. **Composting** - Residential composting of yard waste will be permitted according to approved guidelines. Contact MVF for these specific guidelines.

Additional guidelines for exterior modifications are available at the MVF office.

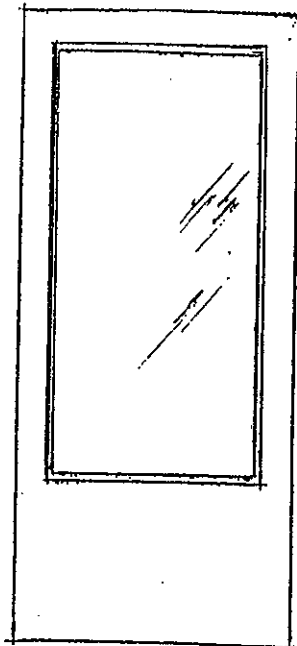
Adopted by MVF/BOD – 1975

Revised 1983, 1986, 1989, 1990, 1991, 1992, 1993, 1994, 2001, 2004, 2008

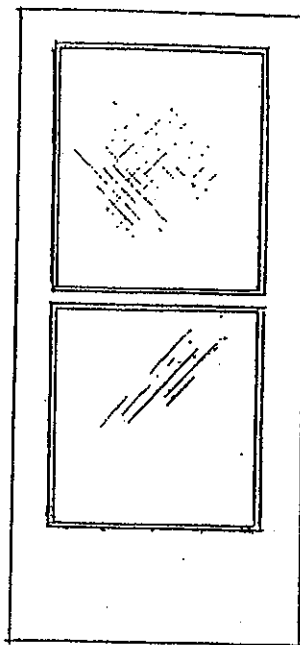
Storm Door Styles



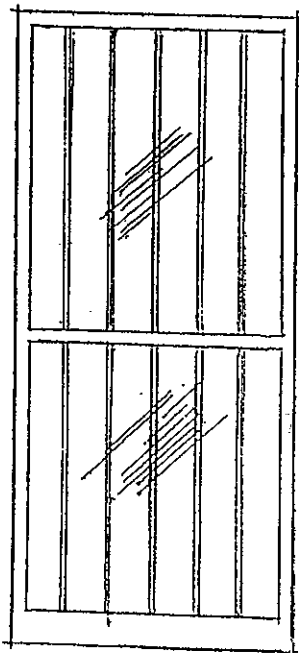
Full view



3/4 Glass



Self-Storing

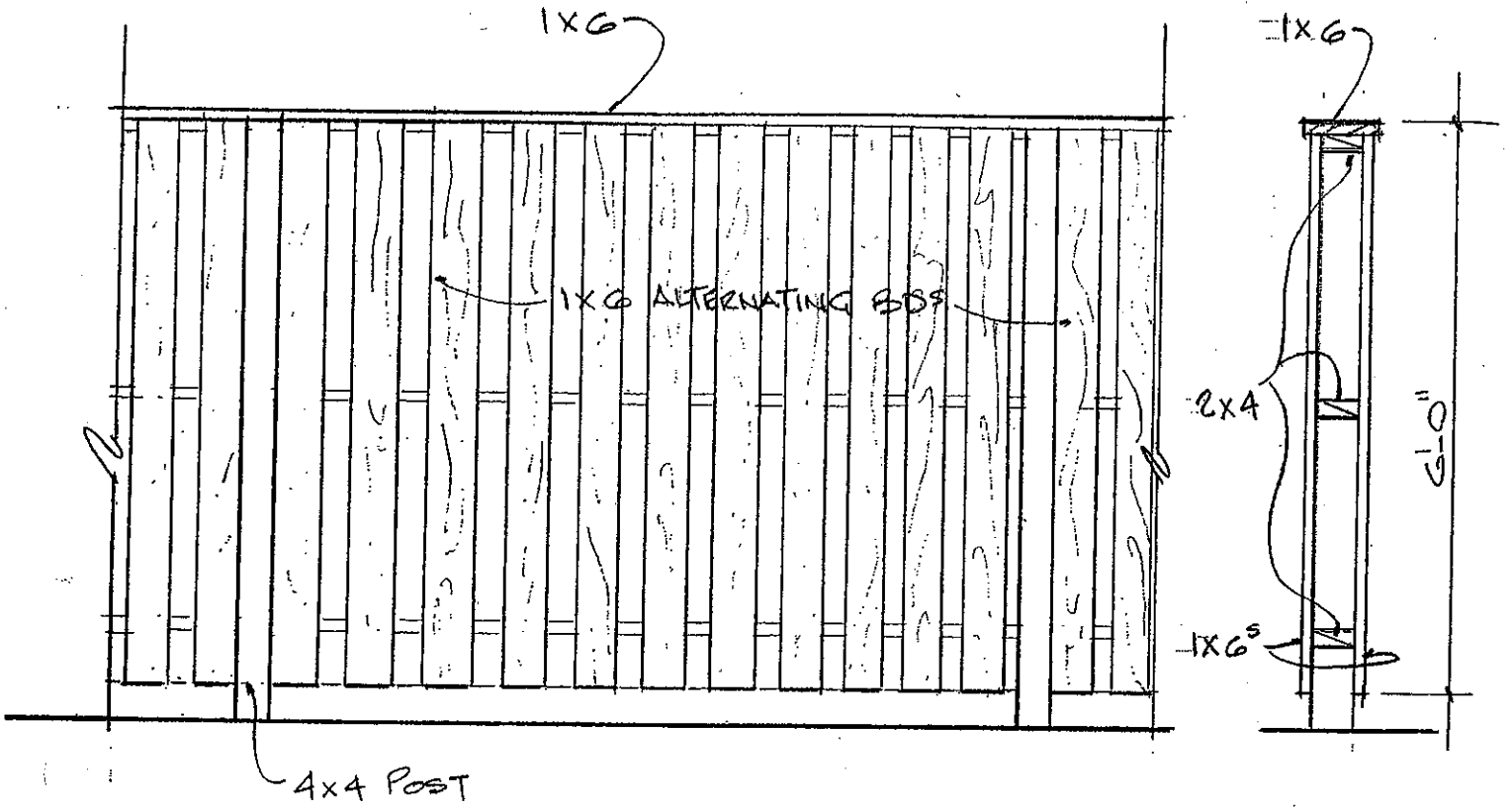


Security Storm Door

*Security storm doors
must be painted front
door color.*

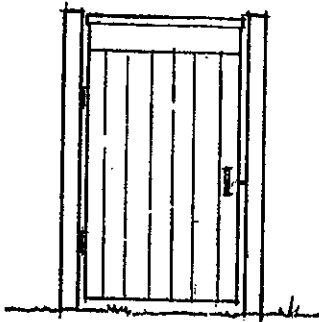
CLUB HILL

Fence and Gate Designs



Unfinished Treated Lumber or Cedar

Gate



FLAT TOP



CONVEX

CLUB HILL

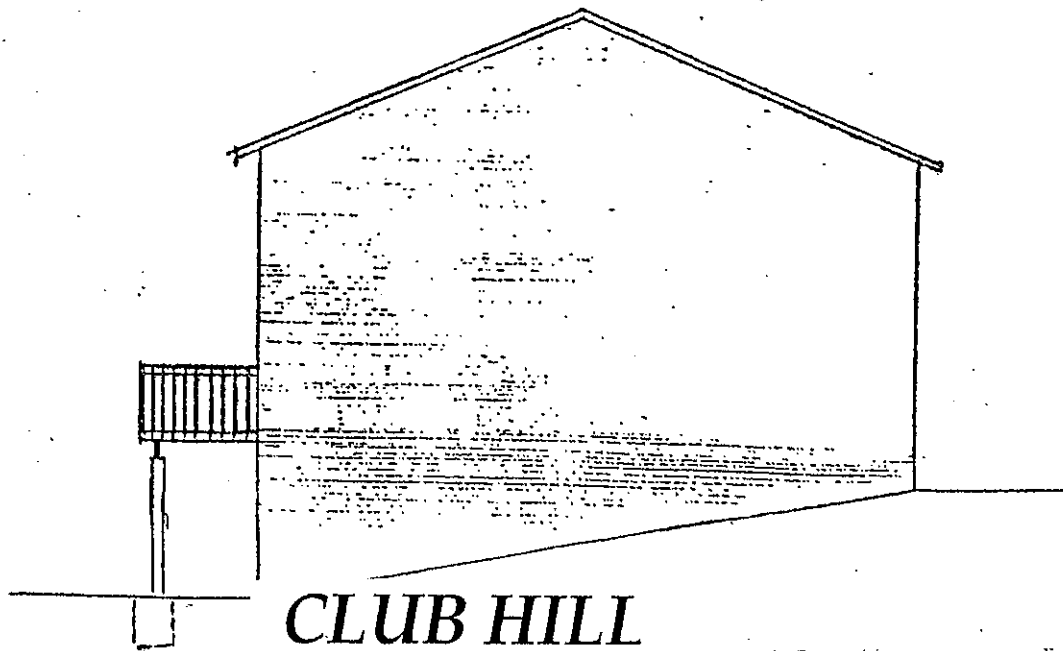
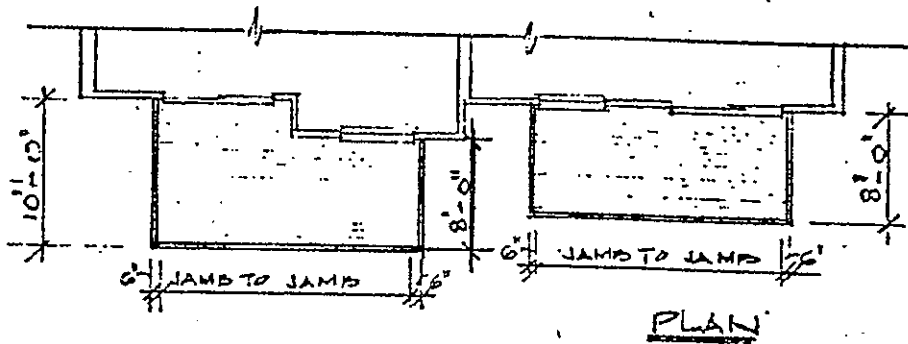
Deck Plan and Elevation

S-13-86
* 9-26-91



BRADDOCK

DENTON-ANNAPOLIS
& CUMBERLAND



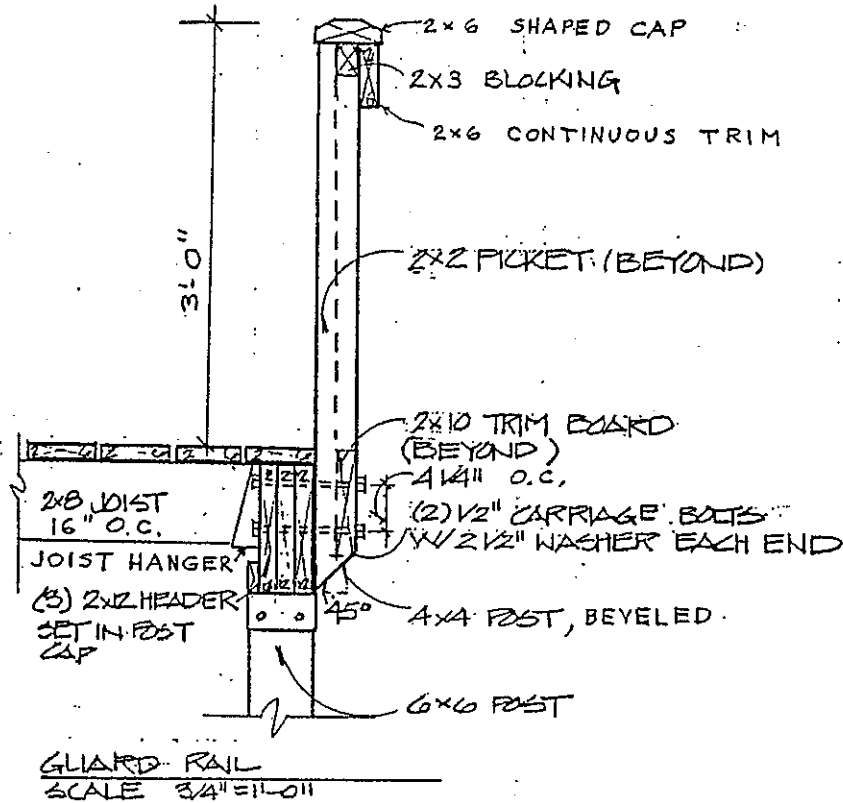
CLUB HILL

TOWNHOUSES

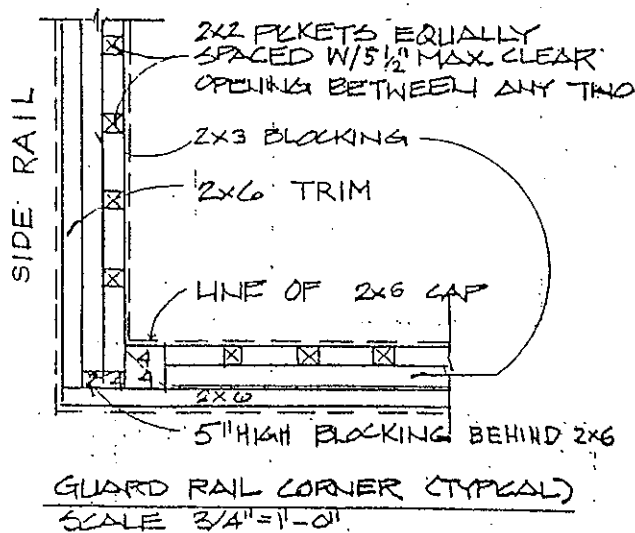
ADD ON BALCONY

NOTES:

- 1) ALL WOOD TO BE PRESSURE TREATED FOR EXTERIOR USE.
- 2) ALL FASTENERS TO BE NON-CORROSIVE.
- 3) ALL NAILED CONNECTIONS TO BE ACCORDING TO THE BOCA NAILING SCHEDULE.



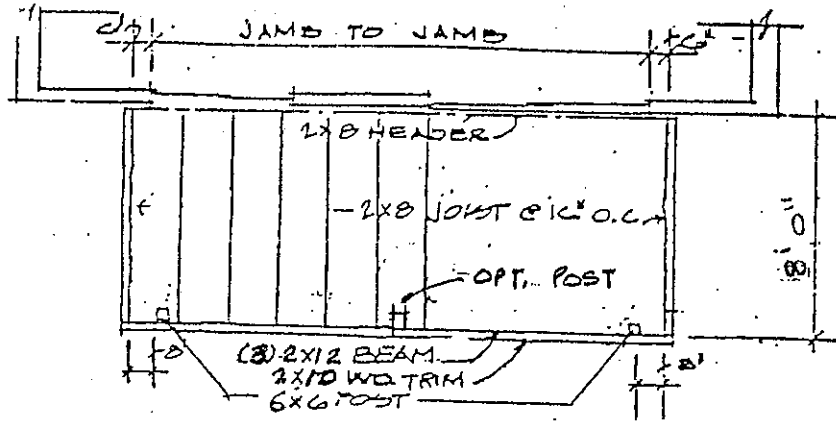
Deck Rail Detail



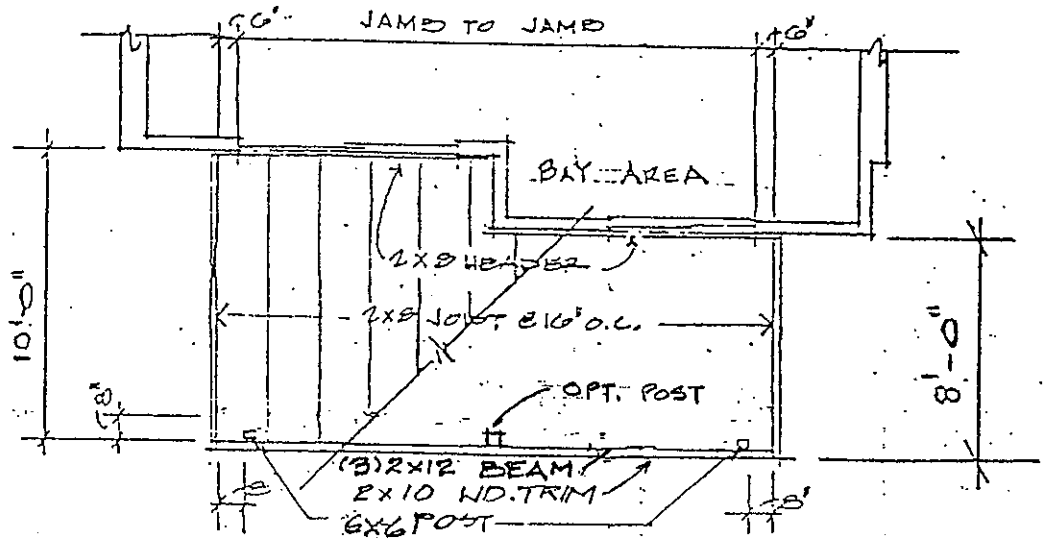
CLUB HILL

Add-on Balcony

5-13-86
*11-13-90



Deck Framing Plan (Denton, Annapolis & Cumberland models)

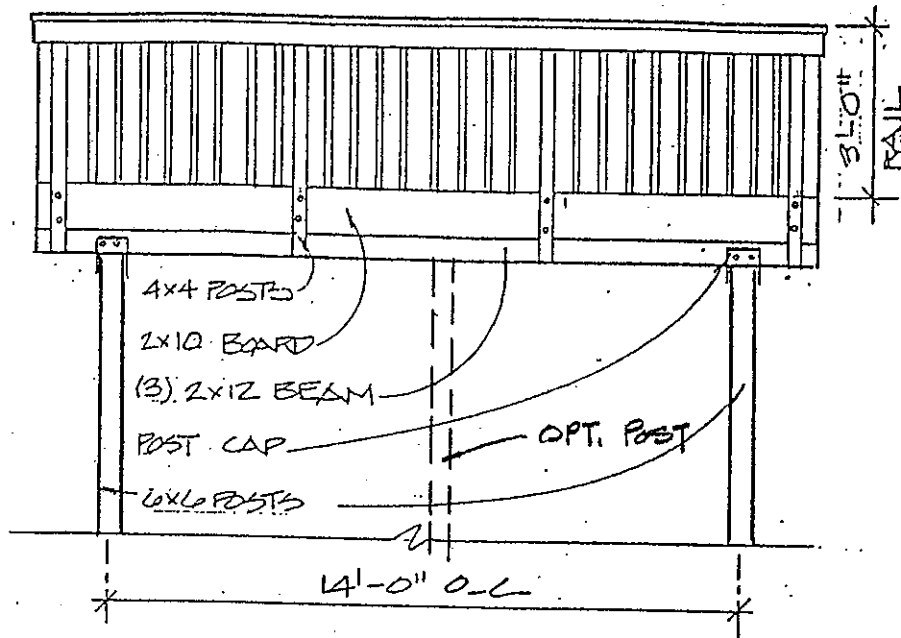


Deck Framing Plan (Braddock model)

CLUB HILL

TOWNHOUSES

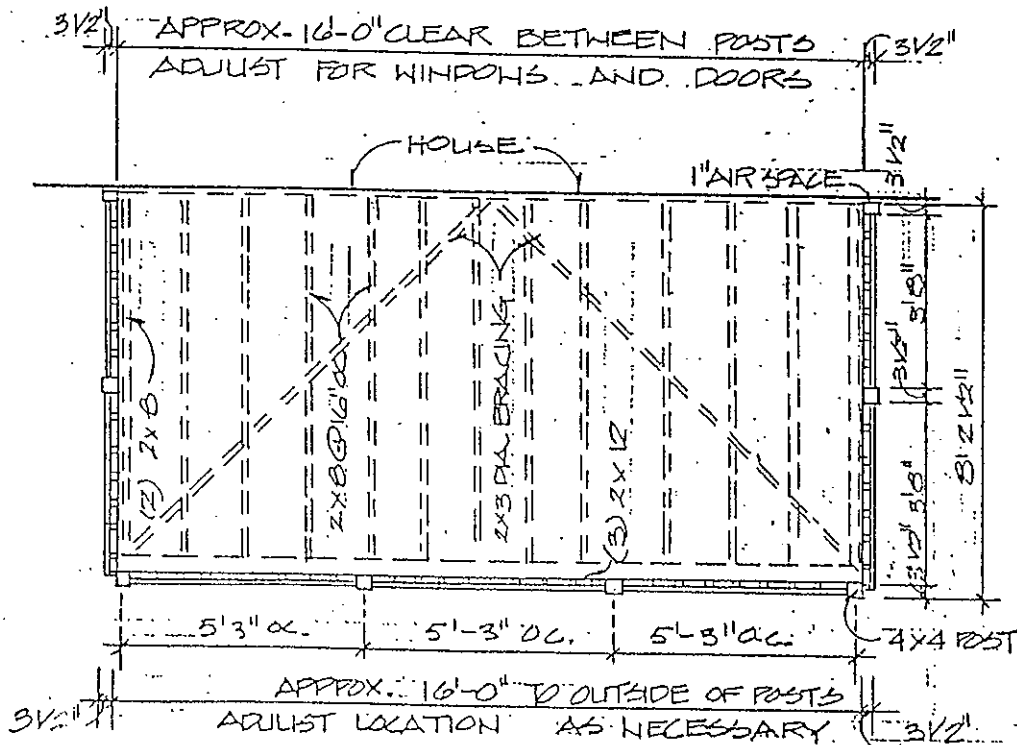
5-13-86
*9-26-91



Deck Rear Elevation

SCALE 1/4" = 1'-0"

CLUB HILL



Deck Framing Plan

SCALE 1/4" = 1'-0"