

ARCHITECTURAL STANDARDS POLICY FOR THE CHARLESGATE
COMMUNITY OF THE EASTGATE HOMES CORPORATION

Any exterior modification including those listed below requires prior approval by the Montgomery Village Foundation Architectural Review Board.

Purpose: To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of Charlesgate desiring to make exterior alterations or changes to their property. ***All modifications must be completed within three months of Board approval unless a specific exception is received.***

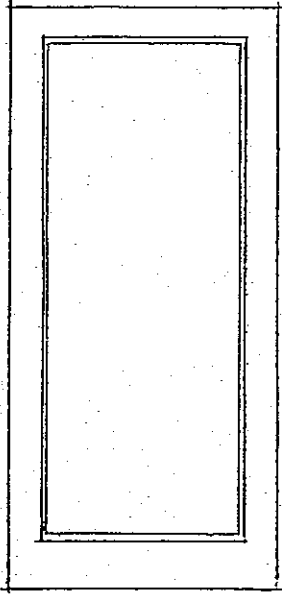
The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** - The shingle type and color are standard. The original shingle is ***Elk "Prestique II" #240***. Color: ***Weathered Wood***.
2. **Exterior Paint** - Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. No approval is required if the exterior paint colors are not changed from these recorded colors. Exterior color change requests for house siding, front door or shutters (where applicable) are reviewed by the ARB on an individual basis and must be compatible with the existing house materials. The Architectural Standards staff is available to assist homeowners in their color selection. The original trim color for Charlesgate is ***McCormick Paint #100 "Super White"***. This color must be maintained unless the wood is covered with a replacement material. The color of the trim at that time will be determined by the ARB. .
3. **Siding/Trim/Shutters** – Any change in color, style or material requires prior approval. ***Window shutters were developer installed and must be retained.*** Shutters may not be added to units where they were not originally installed by the developer.
4. **Replacement Windows** – Must be white double-hung style with grids to match the original grid pattern.
Storm Windows – Must be white double-hung style with grids.
5. **Storm/Screen Door** - Front entrance storm/screen door style will be considered on an individual basis (attached drawing shows the recommended style). The door must be white in color or painted the front door color.
Security Storm Door - Must be painted the front door color.

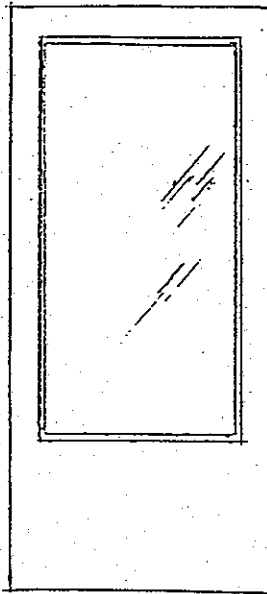
6. **Security Lighting** – Must conform to MVF approved guidelines. *Original globe style or coach style (black or brass) light fixtures on the front elevation must be retained (may or may not include motion sensor lights).*
7. **Elevated Deck** - Will not be permitted.
Ground Level Deck – Must be screened with shrubs to enclose that portion between the deck and grade that is greater than 12" in height.
Deck Color - Any tinted stain or colored preservative will be reviewed on an individual basis.
8. **Yard Enclosure** - Developer installed wood fence and brick wall must be retained. Fences must be stained or painted **McCormick Solid #860** or **Behr #ECC-20-1** “Canyon View”.
Gate – Must be a 3' wide wrought iron or wood gate painted **McCormick Solid #860** or **Behr #ECC-20-1** “Canyon View” installed in the brick garden walls. The height of the gate should not exceed the fence height or be lower than 6" below the wall height (see drawing).
9. **Storage Sheds** – Custom-built storage sheds will be permitted when erected in accordance with the attached storage shed plan and specifications (see drawing). Alternate styles and materials may be considered on an individual basis. *Storage shed height must not exceed fence height.*
10. **House Numbers** - Only black or brass metal numbers no higher than 5" will be permitted. The original design and location must be retained unless otherwise approved.
11. **Basketball Backboards** – Are not permitted.
12. **Composting** - Residential composting of yard waste is not permitted in the **Charlesgate** community.

Additional guidelines for exterior modifications are available at the MVF office.

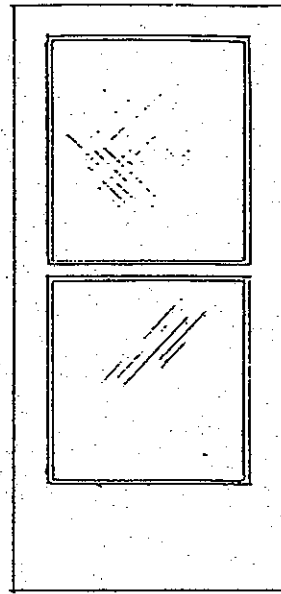
Recommended Storm Door Styles



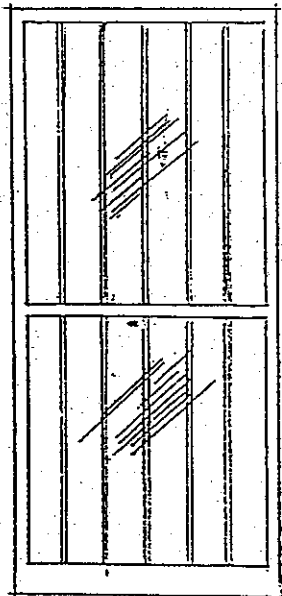
FULL VIEW



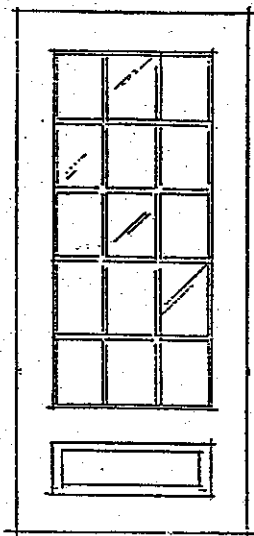
3/4 GLASS



SELF-STORING

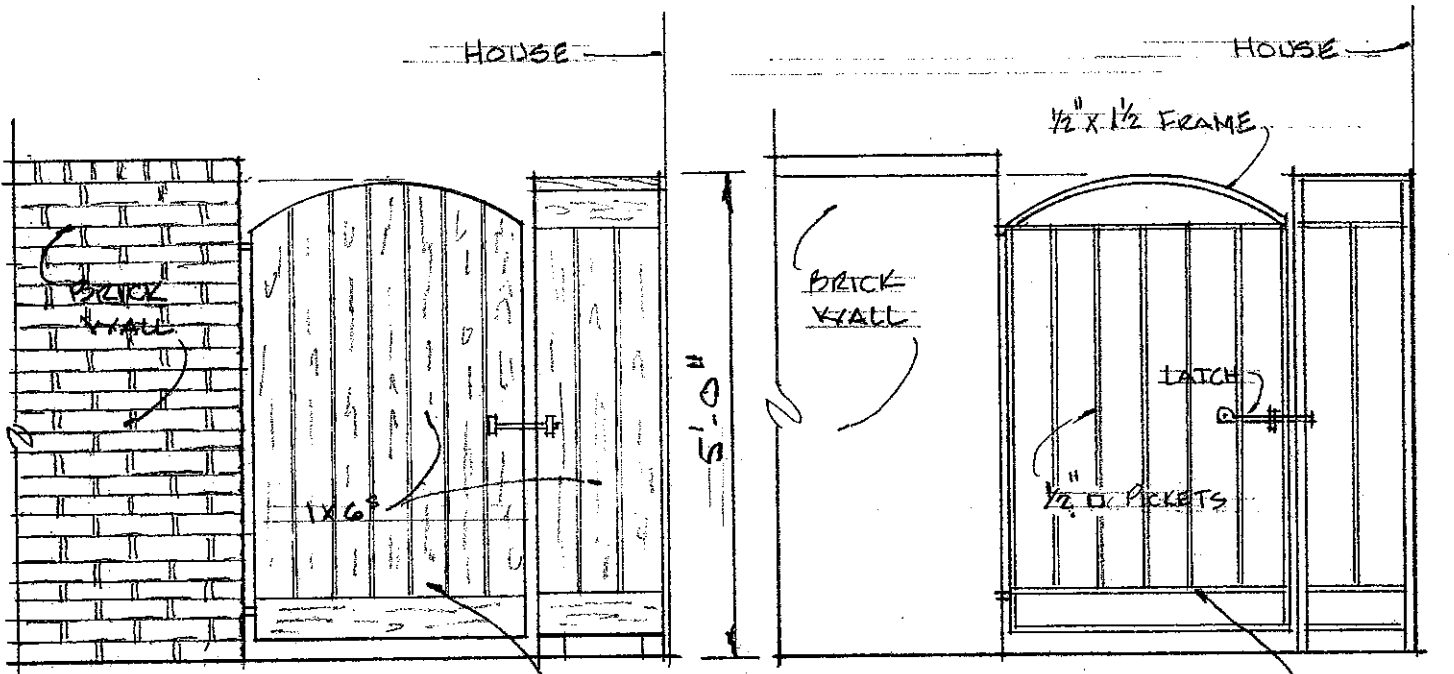
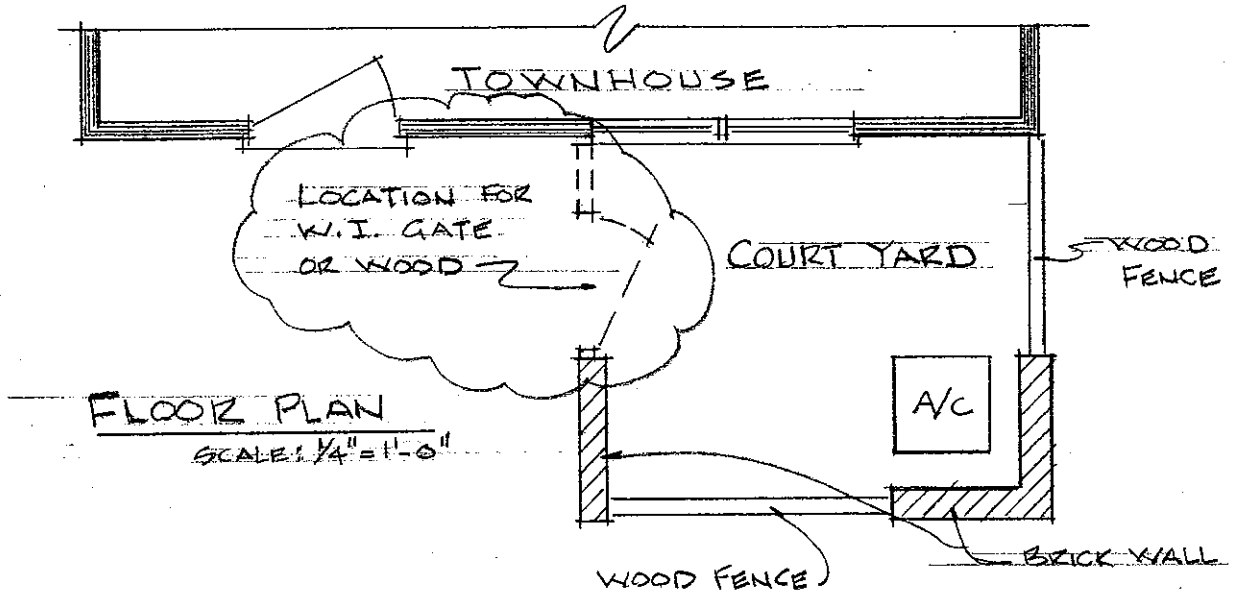


SECURITY DOOR



WOOD & LITE

Charlesgate

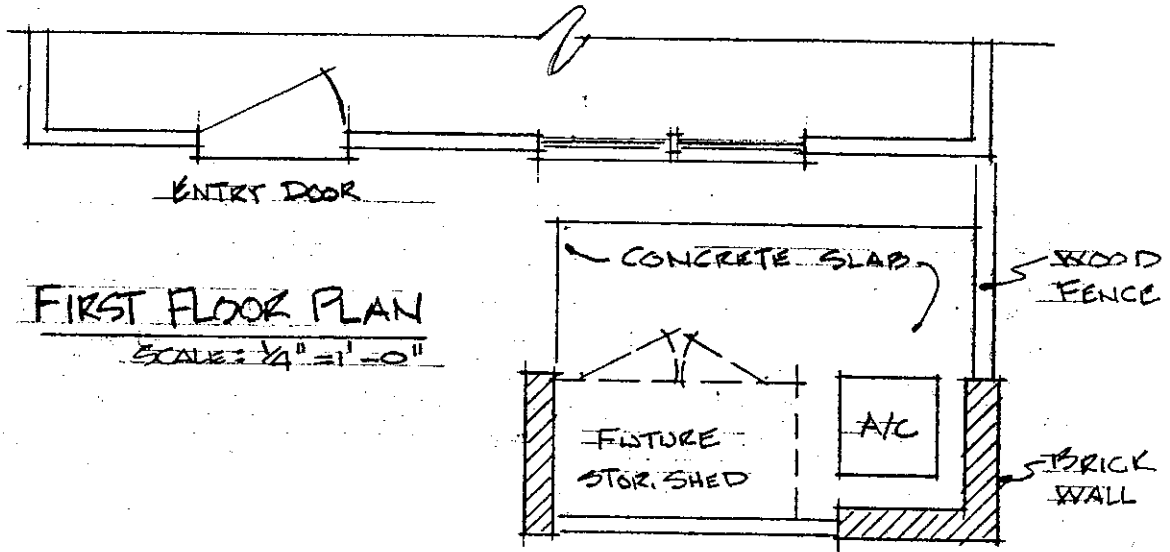


3' WIDE WOOD GATE
 MCCORMICK FENCE COLOR #860 SOLID
 OR
 BEHR #ECC-20-1
 "CANYON VIEW"

3' WIDE W.I. GATE
 PAINT MCCORMICK #860 SOLID
 OR
 BEHR #ECC-20-1
 "CANYON VIEW"

W.I. OR WOOD GATE LOCATION

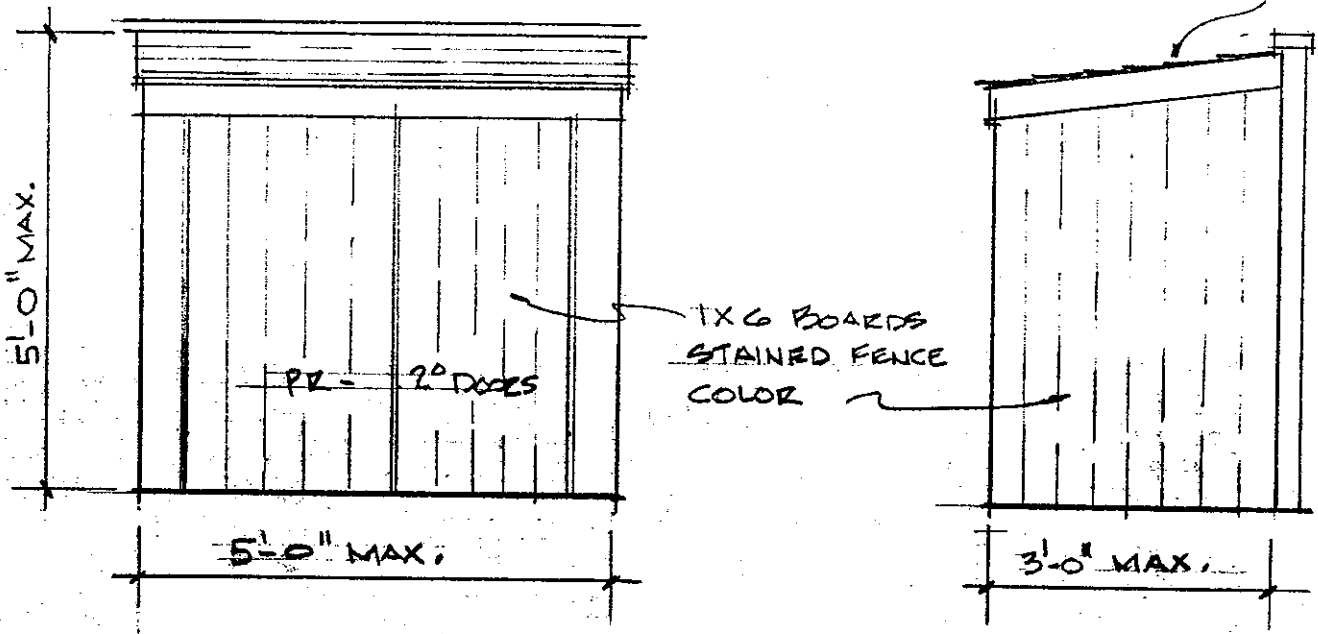
Charlesgate



STOR. SHED
5' WIDE X 3' DEEP X 5' HIGH

ROOF SHINGLES -
CERTAINTRED WEATHERED WOOD

STOR. SHED HEIGHT NOT TO EXCEED FENCE HEIGHT.



ELEVATION
SCALE 1/2" = 1'-0"

Storage Shed