

ARCHITECTURAL STANDARDS POLICY FOR THE **APPLE RIDGE**  
COMMUNITY OF THE NORTHGATE HOMES CORPORATION

***Any exterior modification including those listed below requires prior approval by the Montgomery Village Foundation Architectural Review Board.***

***Purpose:*** To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **Apple Ridge** desiring to make exterior alterations or changes to their property. ***All modifications must be completed within three months of Board approval unless a specific exception is received.***

The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

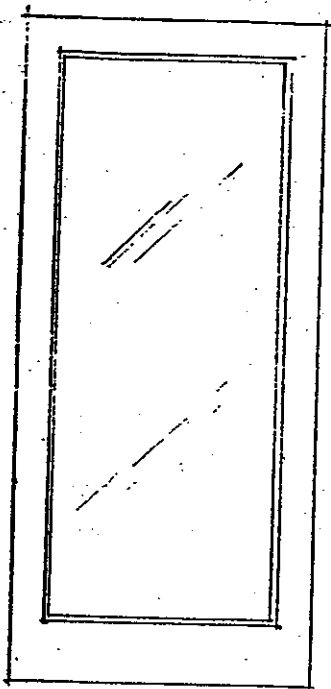
1. **Roof** – The roof shingle color is standard. The original roof shingle is **Owens-Corning Classic 20 "Slate Gray"**. The replacement roof shingle is **Certainteed "Moire Black"**.
2. **Exterior Paint** – Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. No approval is required if the exterior paint colors are not changed from these recorded colors. The original trim color is **McCormick "Super White #100"**. This color must be maintained even if the wood is covered with a replacement material. Exterior color change requests for house siding, shutters, front door, or storm door are reviewed by the ARB on an individual basis and must be compatible with the style and design of each specific community. The Architectural Standards staff is available to assist homeowners in their color selection.
3. **Siding/Trim/Shutters** – Any change in material, style or color requires prior approval.
4. **Replacement Windows** – Must be double-hung style with grids to match original grid pattern in white only.  
**Storm Windows** – Must be white in color only.
5. **Storm/Screen Door** - Front entrance storm/screen door will be reviewed on an individual basis (see attached drawing for recommended styles). The color of the door can be either the front door color or the color of the house trim. Pre-fabricated white storm/screen doors are acceptable. Side or rear storm/screen doors must be painted trim color. ***The Architectural Review Board strongly recommends self-storing storm doors to be painted front door color.***  
**Security Storm Door** – Must be painted to match the front door color.

6. **Security Lighting** – Must conform to MVF approved guidelines. *Original light fixtures on front elevations must be retained (may or may not include motion sensor lights).*
7. **Elevated Deck** – Must be reviewed on an individual basis.  
**Ground Level Deck** – Should be screened with shrubs to enclose that portion between deck and grade that is greater than 12" in height.  
**Deck Color** - Any tinted or colored preservatives to be reviewed on an individual basis.
8. **Fences** - Developer-installed fences must be retained (see drawing). *Corner Lots - white picket fencing is standard as installed by the developer and must be retained.*
9. **Storage Sheds** – Must be located in the rear yard in accordance with attached storage shed plans (see drawing). Sheds must not exceed the fence height and must have a maximum depth of 4 feet and a maximum length of 8 feet. Color of shed to be natural wood to match fence. Location of the shed in the rear yard will be considered on an individual basis. Alternate styles and materials may also be considered on an individual basis but metal or aluminum sheds are prohibited.
10. **House Numbers** – Only black or brass metal numbers no higher than 5” will be permitted. The original design and location must be retained unless otherwise approved.
11. **Basketball Backboards** – Are not permitted.
12. **Composting** - Residential composting of yard waste will be permitted according to approved guidelines. Contact MVF for these specific guidelines.

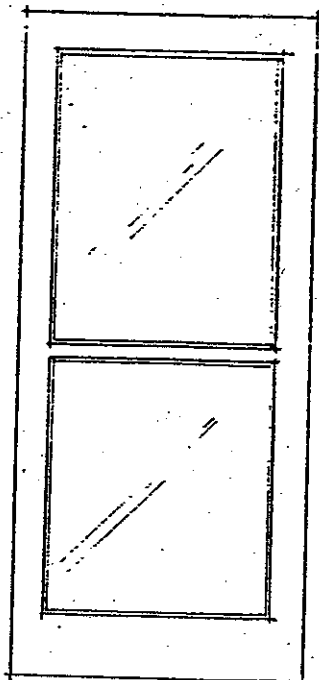
*Additional guidelines for exterior modifications are available at the MVF office.*

# Recommended Storm Door Styles

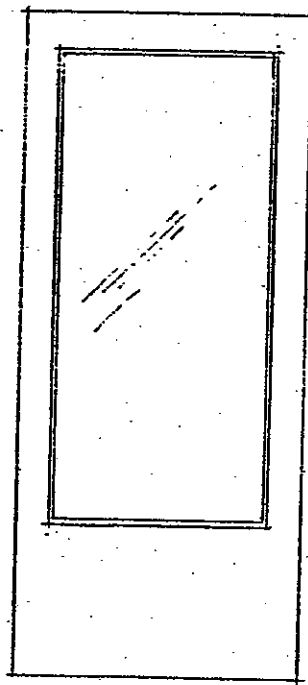
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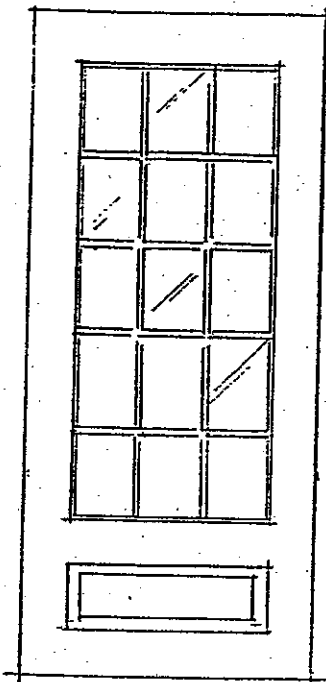
Full-view



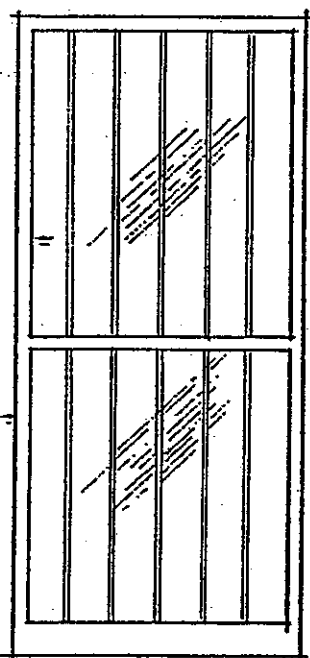
Self-storing



3/4 Glass



Wood 9 lite



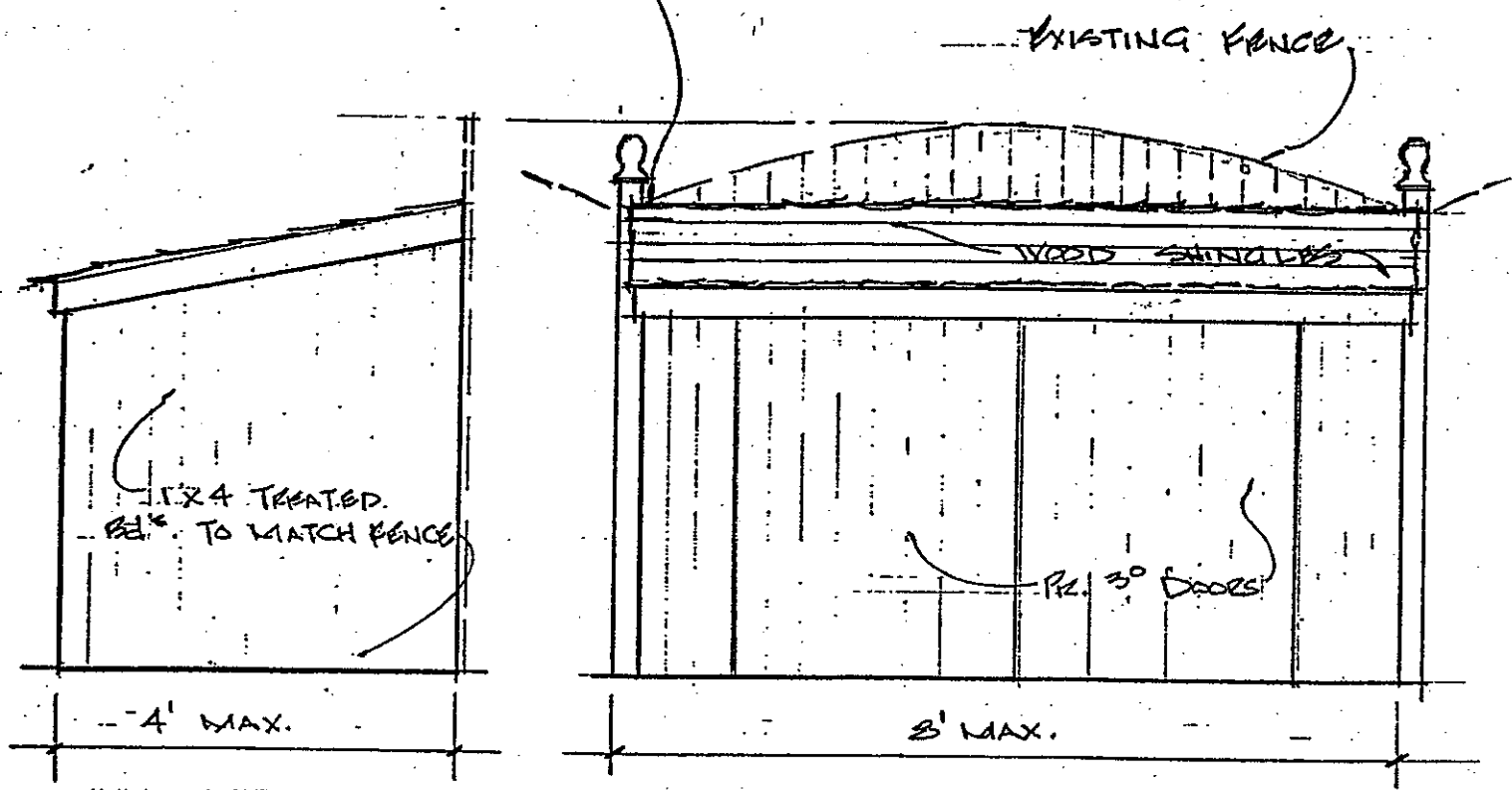
Security Door

## APPLERIDGE

Security storm doors must  
be painted front door color.

# Storage Shed Design

STOR. SHED HEIGHT NOT TO EXCEED FENCE HEIGHT



## APPLERIDGE