

ARCHITECTURAL STANDARDS POLICY FOR **THE HAMPTONS**
COMMUNITY OF THE SOUTH VILLAGE HOMES CORPORATION

Any exterior modification including those listed below requires prior approval by the Montgomery Village Foundation Architectural Review Board.

Purpose: To ensure values and enhance the appearance of Montgomery Village, the following criteria are established to serve as a general guide for residents of **The Hamptons** desiring to make exterior alterations or changes to their property. ***All modifications must be completed within three months of board approval unless a specific exception is received.***

The goal of the MVF Architectural Review Board is to maintain the original architectural design and integrity of each community in Montgomery Village. All requests for exterior modifications, house additions, replacement materials or other structures are reviewed by the ARB on an individual basis utilizing guidelines based on the original design intent and overall aesthetics. Original design features must be retained unless otherwise approved by the ARB. The ARB acknowledges building materials are constantly changing and will approve new materials wherever they may be appropriately integrated within the original architectural plan of the community.

1. **Roof** - Roofing shingles are one standard color. Manufacturer: **GAF:Timberline "Heather Blend"**.

2. **Exterior Paint** - Recorded exterior house colors for each individual home are available at the Montgomery Village Foundation office. No approval is required if the exterior paint colors are not changed from these recorded colors. The original trim color is **McCormick White #500**. This color must be maintained unless the wood is covered with a replacement material. The color of the trim at that time will be determined by the ARB. Exterior color change requests for house siding, front door, and storm door are reviewed by the ARB on an individual basis and must be compatible with the style and design of each specific community. The Architectural Standards staff is available to assist homeowners in their color selection.

3. **Siding/Trim** – The original siding profile is **Certainteed** triple, non-beaded 3” vinyl. This siding profile must be followed when replacement siding is being considered. Replacement trim as well as replacement siding, including a change in color, style or material, requires approval prior to installation.

4. **Replacement Windows** – Must be white double-hung windows with grids to match existing grid pattern.
Storm Windows – Must be white double-hung style.

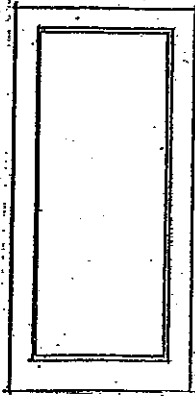
5. **Front Storm/Screen Door** – Front entrance storm/screen door will be reviewed on an individual basis (see attached drawing for recommended styles). The color of the door must be front door color. White storm or screen doors are also acceptable.
Security Storm Door – Must be the color of the front door.
6. **Front Door Entrance Lights** - Photocell lights located in the atriums must be maintained and retained. Original light fixtures by garage doors are black aluminum cylinders. This style and color fixture must be maintained when a replacement is needed. (See attached information on light fixtures.)
Security Lighting – Must conform to MVF approved guidelines. *Original light fixtures on front elevations must be retained (may or may not include motion sensor lights).*
7. **Elevated Decks** - Must be built in accordance with standard option rear deck plan (see drawing). Certain conditions may allow variances in length of deck. No variance in depth will be allowed. Note: The top cap board on the elevated decks is painted **McCormick Paint #456 “Stone Quarry”**.
Ground Level Decks – to be screened with shrubs to enclose that portion between deck and grade that is greater than 12” in height.
Deck Color – Any tinted stain or colored preservatives to be reviewed on an individual basis.
8. **Fence** - Developer-installed fences must be retained and maintained. Additional fencing may be installed along the side and rear property lines upon approval. The fence style is to be solid wood board, 6 feet in height and natural wood color (see drawing). *Note: All non-garage units will have a standard fence color Olympic Stain “Chamois”.*
Gate – The design of the gate must match the existing fence style. Additionally, with the installation of a fence, three gates are required. There must be one gate on each fence side for access to interior units and one gate along the rear property line.
9. **Storage Sheds** – Custom built storage sheds will be permitted when erected in accordance with attached storage plans (see drawing). Alternate styles and materials may be considered on an individual basis. *Please note: Sheds cannot be built without a fence extension.*
10. **House Numbers** – Only black or brass metal numbers no higher than 5” will be permitted. The original design and location must be retained unless otherwise approved.
House Number Note: Additional house numbers in the style of the original property address numbers may be installed directly under the black tube light over the garage door. The numbers must be mounted on a board painted the house trim color, McCormick White # 500.
11. **Basketball Backboards** – Are not permitted.

12. **Composting** – Is not permitted.
13. **Atrium Walkways** – The walkway within an atrium is a shared responsibility among the four unit owners and must be maintained.

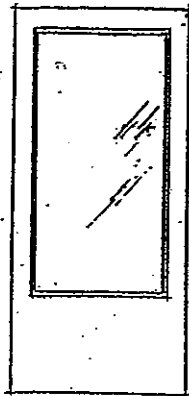
Additional guidelines for exterior modifications are available at the MVF office.

Approved by MVF/BOD - March 23, 1995
Revised 2001, 2002, 2005, 2007, 2008, 2010 (storm door)

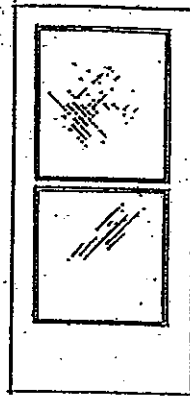
Recommended Storm Door Styles



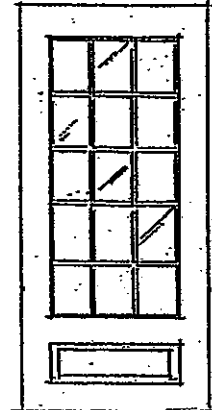
Full View



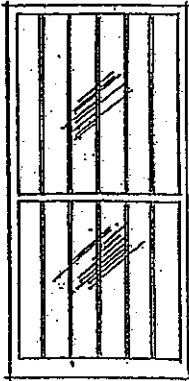
1/4 Glass



Self-storing



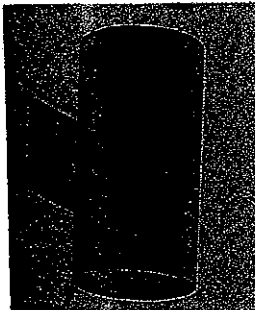
Wood & Lite



Security Storm Door

Security storm doors must be painted front door color.

Garage Door Exterior Light Fixtures

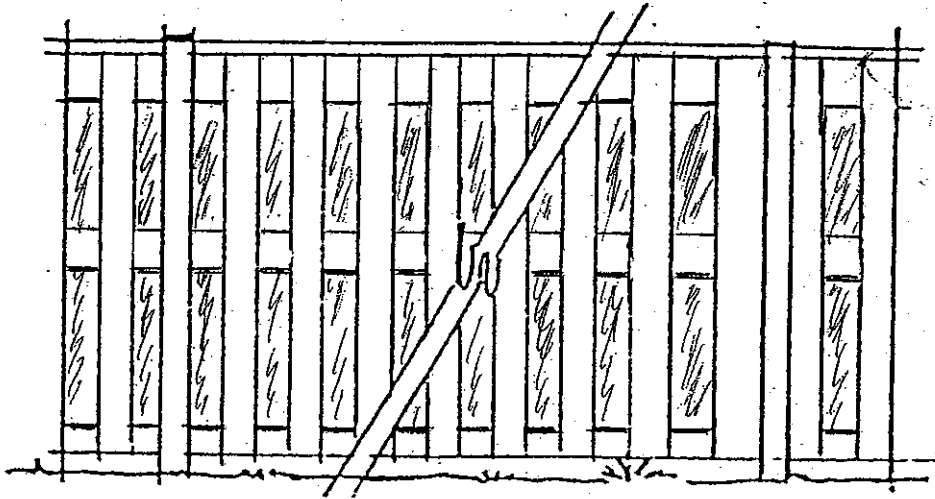


Patio Door Exterior Light Fixtures

THE HAMPTONS

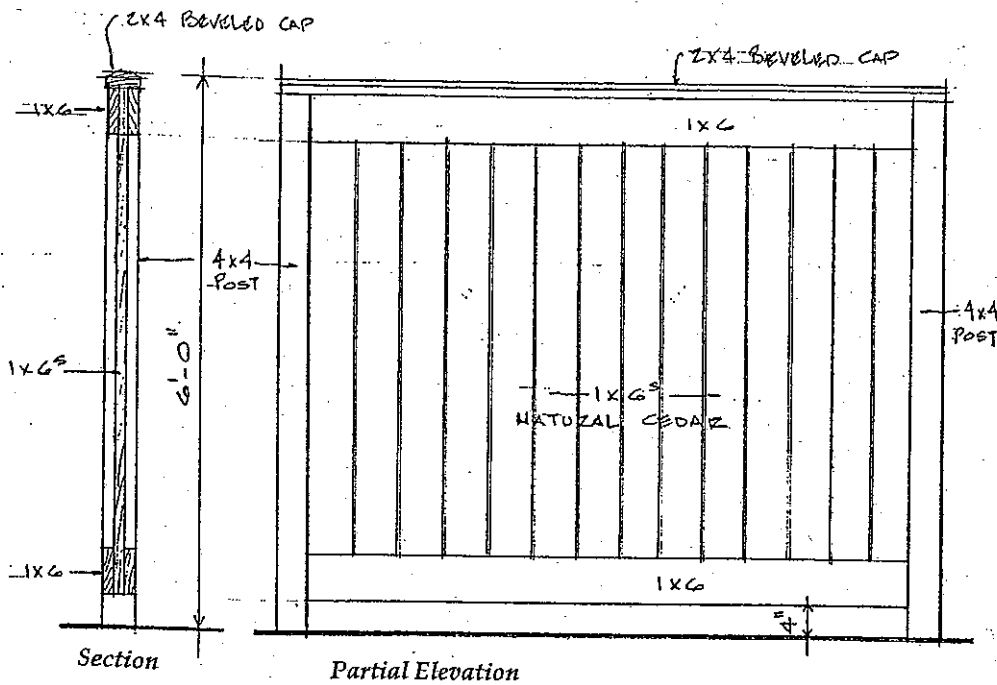
Rear Fence Detail

THE HAMPTONS



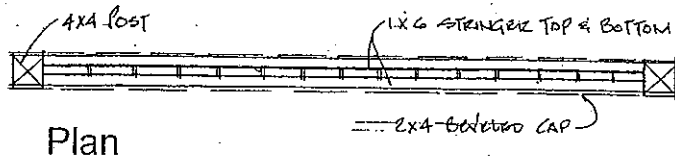
Garage Units Only

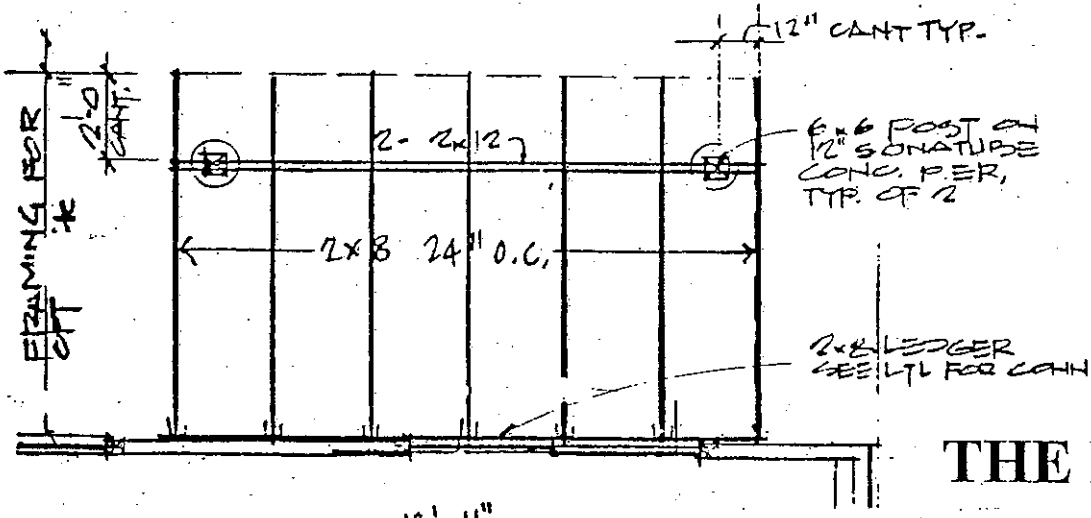
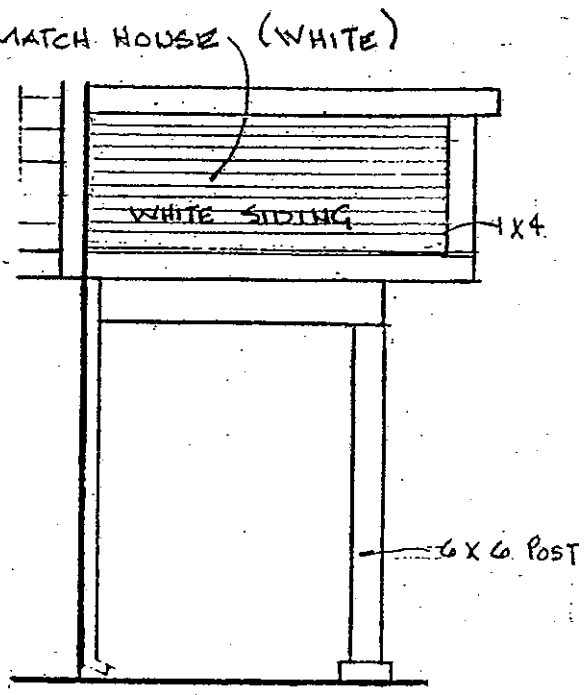
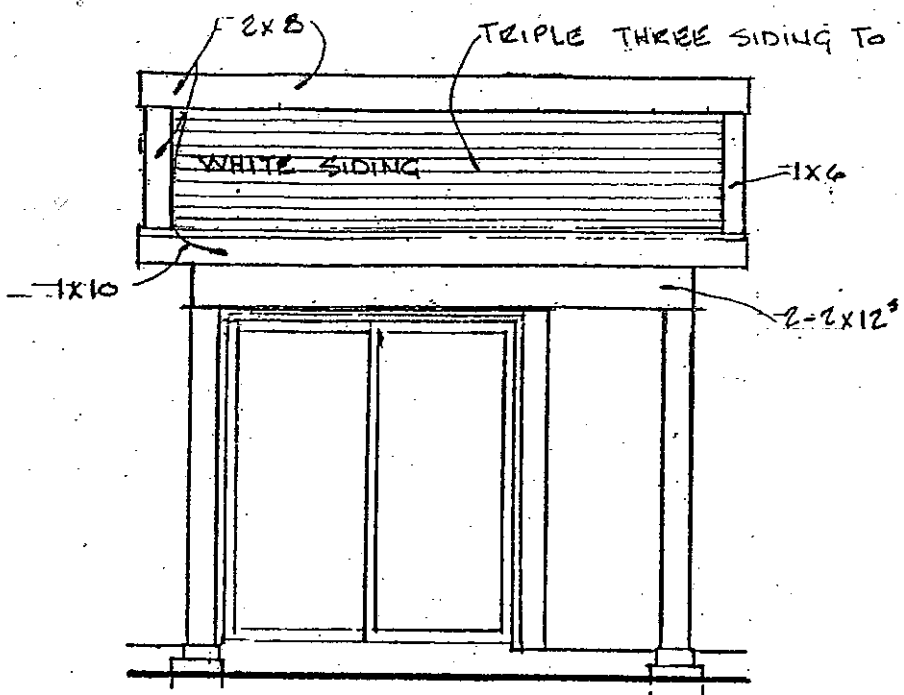
Alternating Board-on-Board Fence



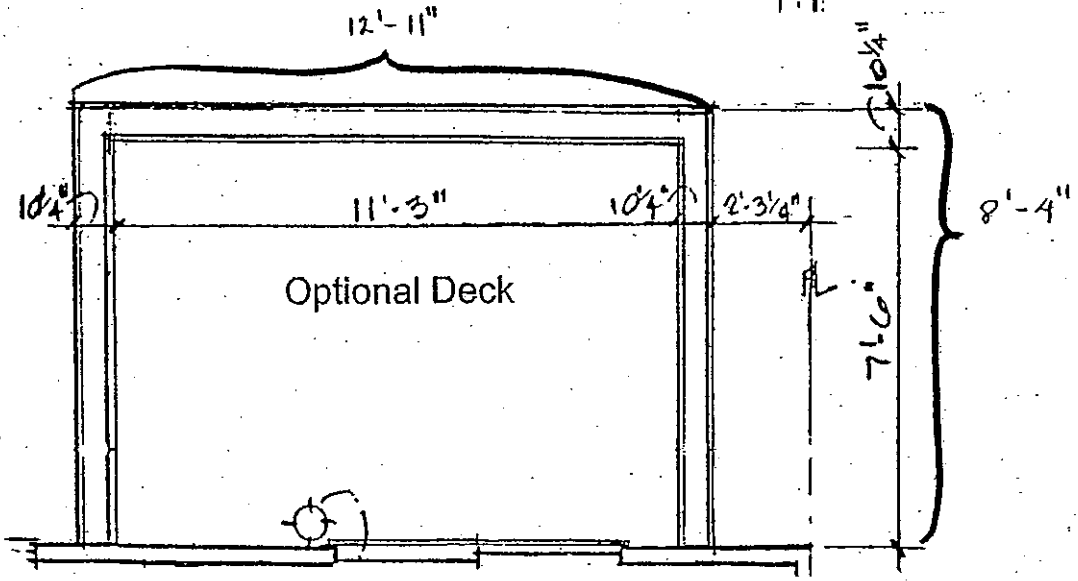
Non Garage Units Only

Solid Board with Beveled Cap and Stringers





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Rear Deck Detail and Plan

Storage Shed Design and Location

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