



MAJOR PROJECT GUIDELINES

OBJECTIVE/GOAL:

To provide homeowners with guidelines for major projects such as but not limited to House Additions, House Enclosures, House Breezeways, Sunrooms, Screened Porches, Conservatories, Greenhouses, Swimming Pools, etc. Major projects are considered so that they are visually integrated into the existing house and give the appearance of being part of the original design of the house.

GUIDELINE DETAILS:

- Applications will not be processed and may be returned if the information submitted is incomplete. Also, all applications and all pertinent information and plans must be submitted by Wednesday 5:00 PM the week before the Architectural Review Board meeting, or they will be reviewed at the next ARB meeting.

APPLICATION CHECKLIST (items to include with your application):

- PIR (Property Improvement Request) form must be completed and signed by the owner.
- House Location Plat or Site Plan (plat plan) – also called the house location survey.
{The proposed modification must be drawn to scale on the house location plat - typical scale used: 1"=30'}
- Floor Plan – horizontal overview of a project including architectural details, materials to be used, location of proposed windows, doors, walls, etc. The floor plan should show how the project relates to the existing structure.
- Building Elevations (applicable front, rear, and side views) - elevations must be drawn to scale and must be dimensioned accurately showing prominent features of the existing house and proposed improvements. Typical scale used: 1/4" – 1'0".
- Sections – drawings must show an elevation where the building or other structure is cut through vertically (as if you are looking at the inside of the structure).
- Details – measurements and colors of all parts of the project. Typical scale used for measurements: 1/4" = 1'0".

NOTE: A more detailed packet of required information that needs to be submitted is attached.

Questions: Call Architectural Standards (301) 948-0110

Montgomery Village Foundation
Department of Architectural Standards



SUBMITTAL GUIDELINES
Additions/ Alterations

These guidelines contain a list of plan details, specifications and technical information generally required for review by the MVF Architectural Review Board (ARB) for additions or alterations to residential units (attached or detached). This list is not all-inclusive and detailed, further information may be required, if needed, at the time of plan review. The plan reviewer may refer the application back to the applicant if there is insufficient information or plans submitted. The ARB requires the information contained in this list in order to review the application. Applications and plans not received the Thursday prior to the Wednesday ARB meeting will not be reviewed at that meeting.

A. General requirements

1. A complete set of plans including the property site plan showing existing structures and the location where the proposed structure will be located.

B. House Location Plat or Site Plan (plot plan) (typical scale: 1"= 30')

1. The proposed improvement must be dimensioned accurately showing how the existing structures such as the house or garage, etc. relate to the proposed new modification.
2. The site plan or house location plan must show site features such as driveways, walkways, patios, pools, retaining walls, fences, landscape areas, etc. and the proposed improvement (s) in relation to these existing features.

C. Architectural plans drawn to scale and dimensioned (typical scale: ¼"=1')

1. Architectural floor plans (horizontal overview of a proposed project including architectural details, materials to be used, location of proposed windows, doors, walls, etc.
 - o Label floor plan of **existing** building affected by the addition/alteration, including dimensions, including windows and doors
 - o Label floor plan of **proposed** addition/alteration, including windows and doors
 - o Provide all measurements of new space
2. Foundation plan and framing plan (typical scale: ¼"= 1')
 - o Show **existing** footing/foundation and floor/roof structural framing affected by the addition/alteration.
 - o Show footing/foundation and floor/roof structural framing of **proposed** addition/alteration.

D. Elevations of existing building and proposed addition (Scale: ¼" = 1')

1. Elevations would include front, rear and side views. The rule to follow is: If you can see any part of the proposed improvement from a given side of the existing house, then this entire side of the house (elevation) must be included.
2. Elevations must be complete, not partial. The elevation must show the modification to be made and how it relates to the entire front, rear or side of the house. The proposed improvement must be evaluated in relation to the size and shape of the entire building, not just a part of the building.
3. Elevations must be drawn to scale and must be dimensioned accurately showing prominent features of the existing house and proposed improvements such as doors, windows, shutters, louvers, roof pitches, skylights, chimneys, vents, trim, gutters, exterior finishes/materials, and colors.

4. All sizes of structural members and trim elements must be included (example: 6"x6" wood post; 12"x16" masonry pier; double 2"x10" beams; 1"x8" fascia; 2"x2" rail pickets; 2"x4" rails)
5. In general, the architectural components (trim, materials, and colors) of the improvement must match those existing components, and reflect the architectural style of the house **as well as the community.**

E. Sections

1. Drawings must show an elevation where the building or other structure is cut through vertically (as if you are looking at the inside of the structure rather than the horizontal overview of the structure).

F. Details

1. All measurements of all parts of the project such as trim boards, corner boards, cap plates covering wood beams, concrete base, doors and windows, gutter boards, roof overhangs, deck parts including steps and risers and treads, roof pitch, etc.
2. Colors of parts such as trim boards, rake boards, corner boards, siding, gutters and downspouts, roof shingles, deck parts, skylights, windows, doors including garage doors, vents, porches, etc.

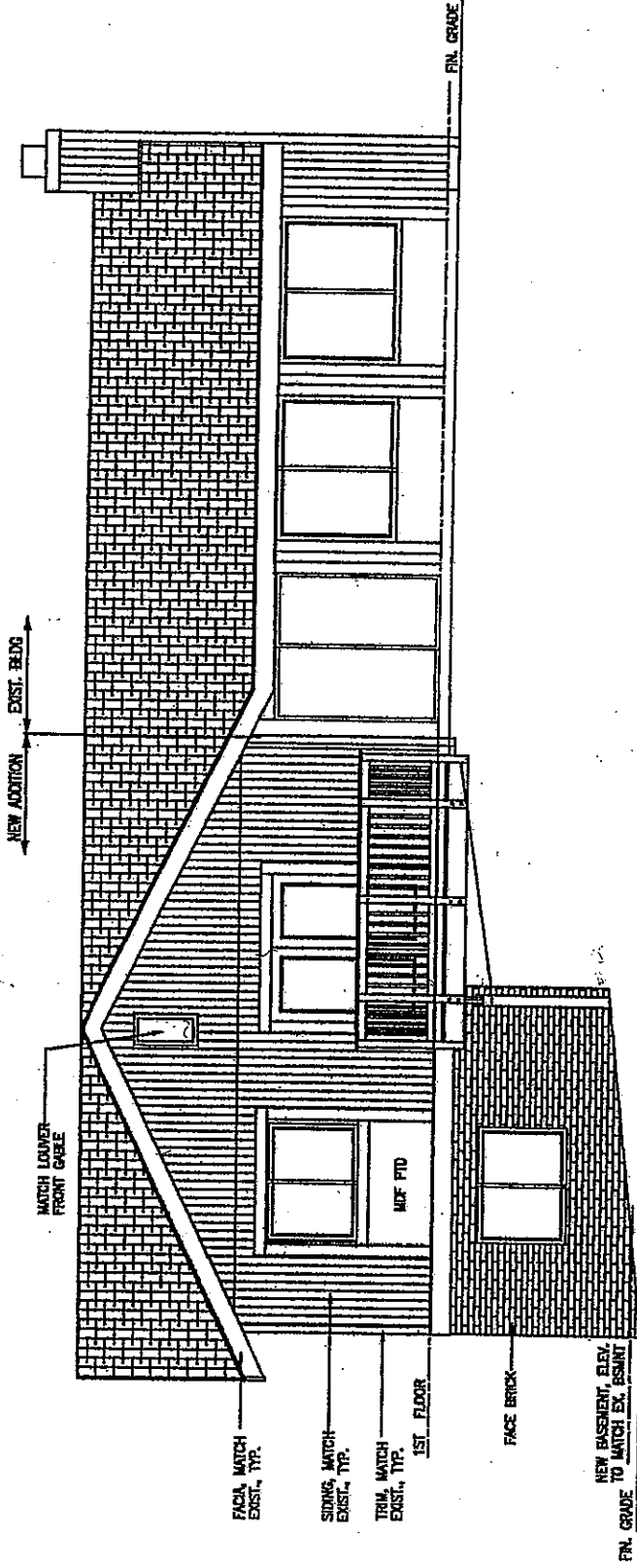
APPLICATION SUBMITTAL PACKAGE:

- ❖ Application (PIR) signed and dated by homeowner including paid review fee
- ❖ Site plan, drawn to scale (1"=30'; 1"=20') showing the size and location of all new construction and all existing structures on the site, distances from lot lines and established street grades.
- ❖ Construction plans drawn to scale (1/4"=1'; 1/2"=1'), with clear and accurate dimensions showing the nature and character of the work to be performed, including floor plans, cross sections and window door placement.
- ❖ Elevations drawn to scale (1/4" = 1'0") showing existing structures and how the proposed improvement relates to them. Elevations may show the front, rear, or side of the house as applicable.
- ❖ Material and color samples as applicable. Current MVF paint record should be included for color determination of proposed improvement.
- ❖ Photographs of property where improvement is to be made.

NOTE: All properties within Montgomery Village are in the county's Town Sector Zone. No county permit will be issued without the homeowner receiving prior approval from the Montgomery Village Foundation.

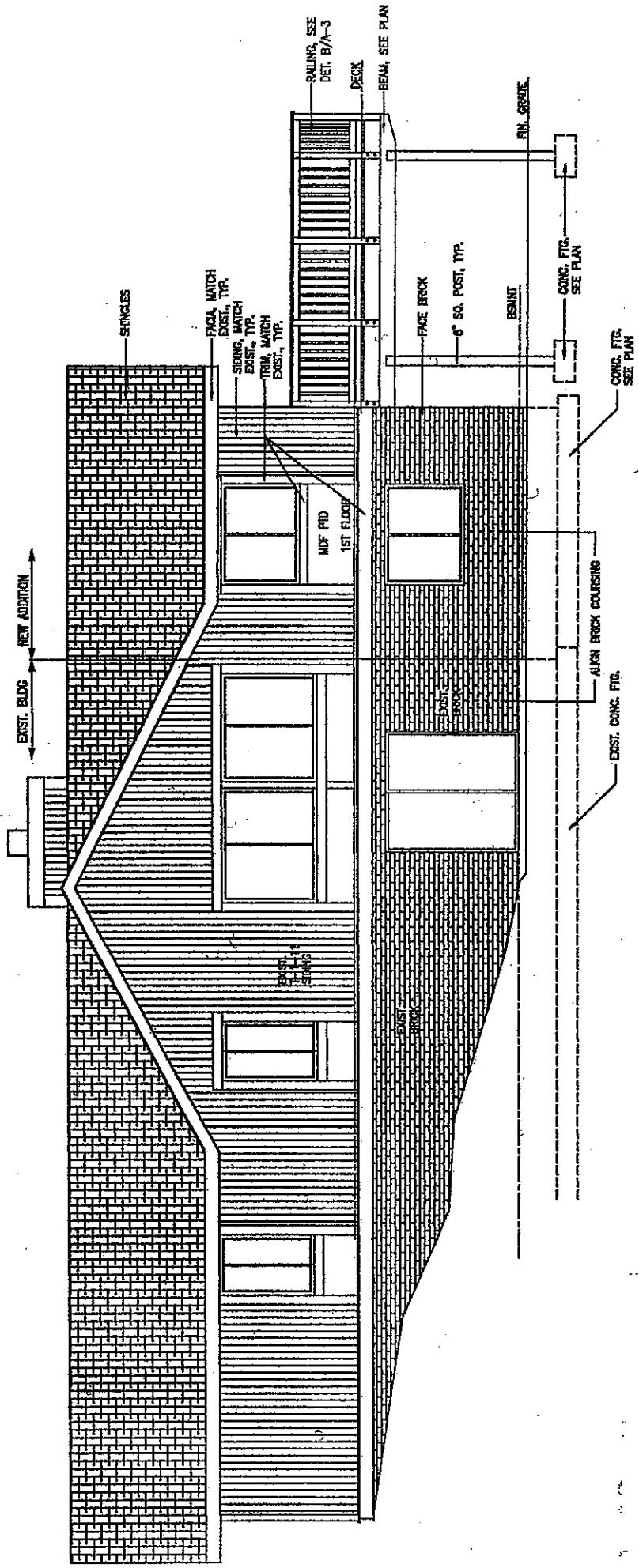
Failure to comply with these guidelines may result in your plan(s) not being accepted for review.

November 2006



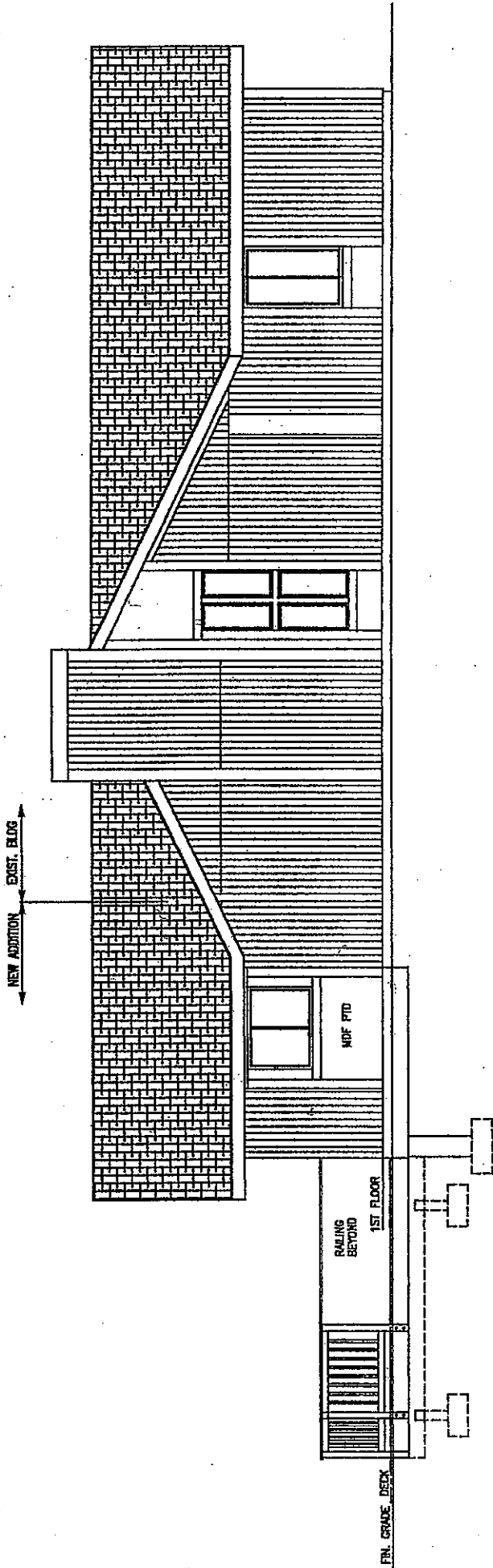
REAR ELEVATION

10/11/11



LEFT SIDE ELEVATION

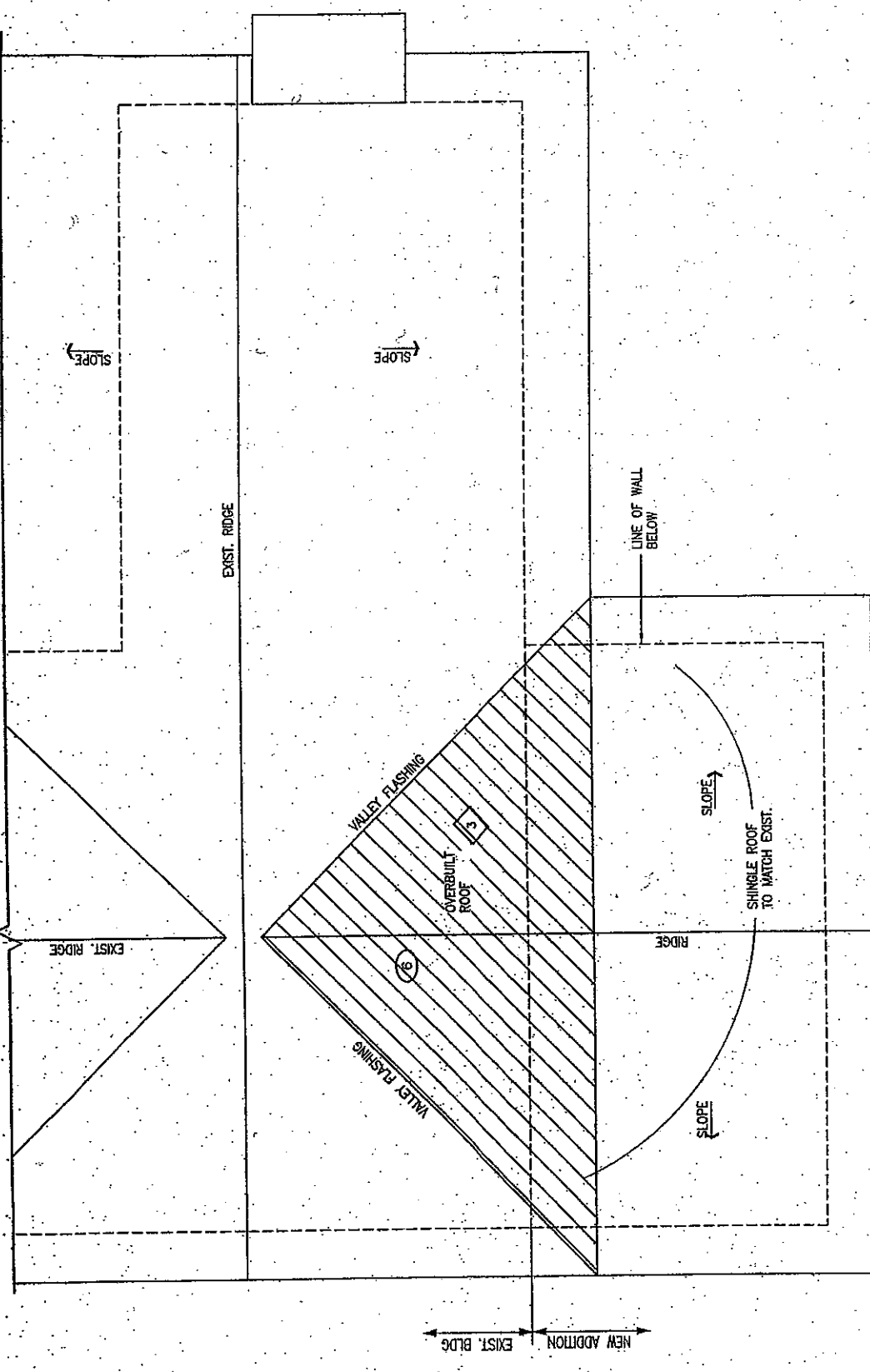
1/24/07



ADDITION AT THE 1/10/7/07

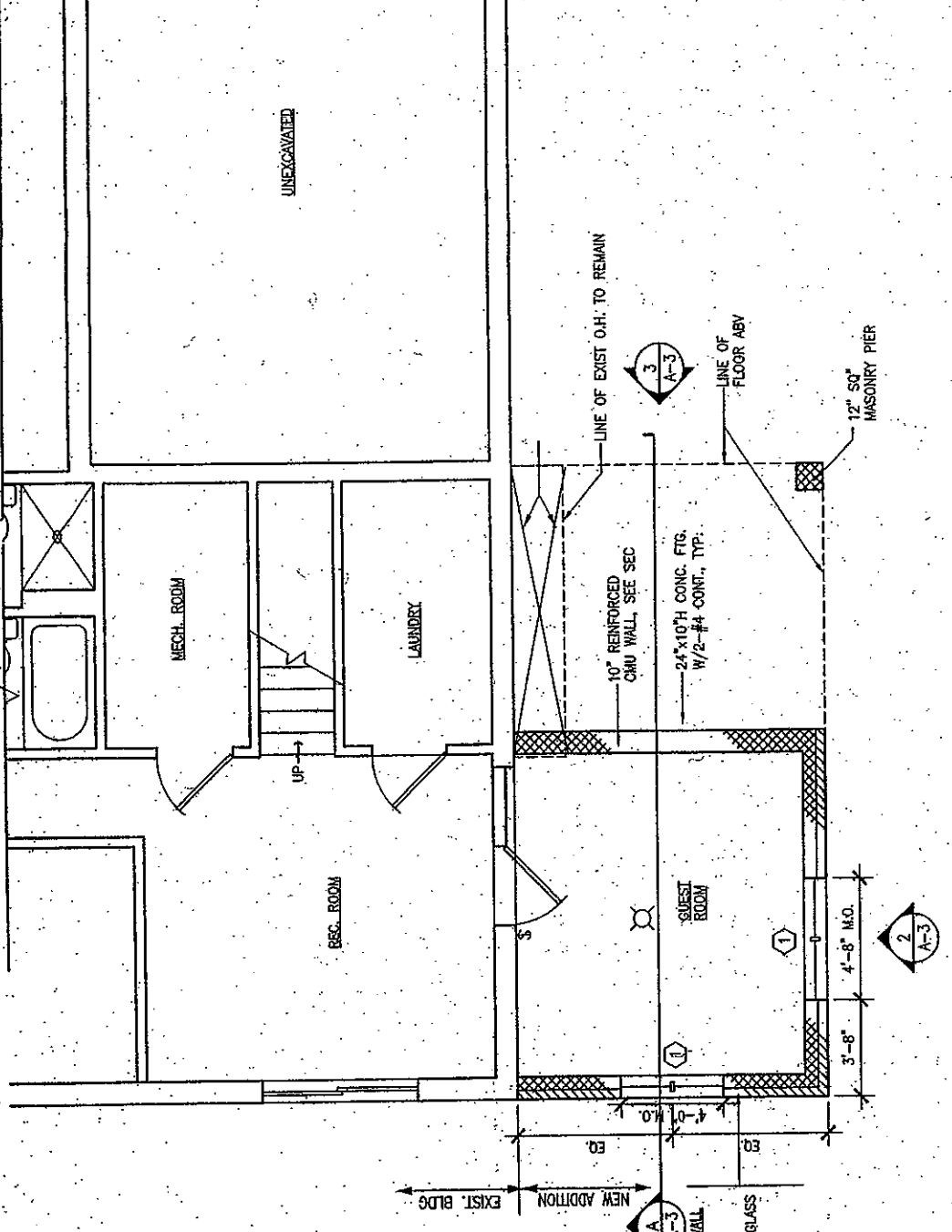
RIGHT SIDE ELEVATION

1/2/2011



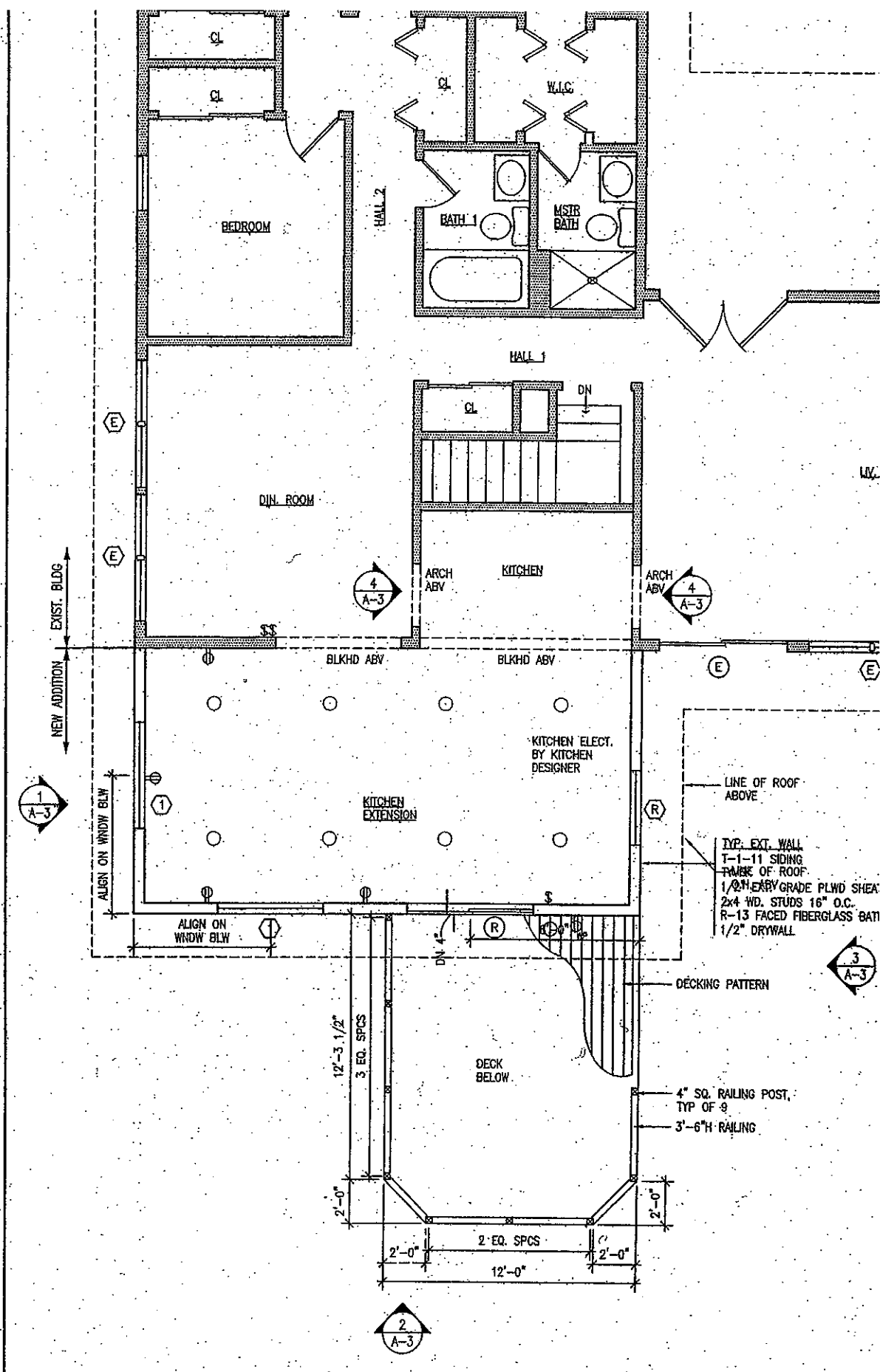
3 ROOF PLAN

ACCORDING TO ACTUAL



4 BASEMENT PLAN

1/24/10



2 FLOOR AND DECK PLAN

1/4

1/24/07

